

TOWN OF BLUFFTON



STAFF REPORT

Department of Growth Management

MEETING DATE:	January 27, 2016
PROJECT:	Nissan & Infiniti Dealerships – Certificate of Appropriateness – Highway Corridor Overlay
PROJECT MANAGER:	Erin Schumacher, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, JLL, Inc., requests that the Planning Commission approve the following application:

1. **COFA-12-15-9448.** A Certificate of Appropriateness to allow the development of two car dealerships consisting of two buildings ranging in size from 18,000 SF to 25,000 SF and associated site improvements on approximately 11 acres of property fronting US Highway Route 278, zoned Buckwalter PUD within the Buckwalter Business Park Master Plan.

INTRODUCTION: The conceptual plan for the Buckwalter PUD was approved by Bluffton Town Council in April 19, 2000. As approved, the plan organized the 5,615-acre Buckwalter tract into planning areas to provide for the regulation and arrangement of land uses as well as the allotment of densities. As such, the parcel in question is located within the Buckwalter Business Park Master Plan planning area which was approved by Town Council on July 11, 2001 with conditions.

The Applicant is proposing the development of two car dealerships, Nissan and Infiniti, with buildings of 25,000 SF and 18,000 SF respectively and the associated site improvements.

The Applicant is requesting approval of a Certificate of Appropriateness – Highway Corridor Overlay application which is subject to review by the Planning Commission providing authority over the architectural, landscaping, and lighting design only.

The Applicant is concurrently in the Preliminary Development Plan and (minor) Master Plan Amendment approval process subject to review and approval by the Town of Bluffton Development Review Committee (DRC). The Preliminary Development Plan and Master Plan Amendment have been submitted and comments were provided to the applicant at the December 22nd DRC meeting. The Applicant must fulfill any comments associated with the approval to complete the process.

PLANNING COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.C.6. of the Unified Development Ordinance, the Planning Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Planning Commission are required to consider the criteria set forth in Section 3.17.3 of the Unified Development Ordinance in assessing an application for a Certificate of Appropriateness- HCO. These criteria are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Section 3.17.3.A. The proposed development must be in conformance with applicable landscaping, lighting, and architectural provisions provided in Article 5, Design Standards.
 - a) *Finding.* The project is located in the Buckwalter PUD and is part of the Buckwalter Business Park Master Plan. There are specific design standards established by the PUD via the Beaufort County 1990/3 Zoning and Development Standards Ordinance, which are attached to the PUD. As a result, the design criteria of Article 5 of the current Unified Development Ordinance does not apply to this proposal.
2. Section 3.17.3.B. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.

The property is located in the Buckwalter PUD and is identified on the Concept Plan as Commercial land use in an area noted as Buckwalter Commons. Further, the planning area is identified in the Buckwalter Business Park Master Plan. As a result, the property is subject to the Beaufort County 1990/3 Zoning and Development Standards Ordinance. The Zoning and Development Standards Ordinance and Design Guidelines contain architectural, landscaping, and lighting design standards for properties located in the Highway Corridor Overlay District (HCOD).

A. BUCKWALTER PUD/PUD CONCEPT PLAN

The Buckwalter PUD refers to the Beaufort County 1990/3 Zoning and Development Standards Ordinance (ZDSO) for development standards.

Landscaping

- 1) *Finding – Highway Buffer.* Section 4.23.2.C.5. of the Beaufort County 1990/3 ZDSO states that installed shrubs used to meet the requirements shall be at least two and one half feet tall when planted. While they are existing plantings, confirm that the dwarf yaupon hollies meet the two and a half foot minimum.
- 2) *Finding – Landscaped Medians.* Section 4.23.2.2.E.1.a. of the Beaufort County 1990/3 ZDSO states that wheel stops shall be placed within all parking spaces at the standard distance from every landscaped median to

protect the plantings. Further, this section states that shrubs and/or trees shall be installed in the median to provide for semi-continuous plantings along the median and that those shrubs shall be at least one foot in height at installation and reasonably projected to grow to at least 2 feet in three years. As proposed, the site does not have any wheel stops shown and the medians are planted with 4" x 8" Asiatic Jasmine at 2.5' spacing. To meet the requirements wheel stops must be added and shrubs meeting the dimensional requirements must be added.

- 3) *Finding – Landscaped Peninsulas.* Section 4.23.2.2.E.1.b. of the Beaufort County 1990/3 ZDSO states that a landscaped peninsula shall be installed parallel to the parking spaces every eight or fewer spaces and at the end of the parking aisle. It also states each landscaped peninsula shall contain one broad-leaved overstory tree with a minimum size of two and one half inches at dbh and a minimum height of ten feet. As shown, at the northern most row of parking east of the entrance of the Nissan Dealership the peninsula is placed after 9 spaces. To remedy this, the peninsula must be moved over one space so that there are 8 spaces on each side. Also, on both sites the overstory trees proposed in the peninsulas are Sabal Palms and Arnold Tulip Poplars. While the poplars are not noted in the list provided in the ZDSO, they are commonly recognized as an overstory tree. To provide a more year round evergreen buffer to soften the proposed parking, Staff recommends substituting some of the proposed deciduous trees with evergreen trees such as Live Oaks.

Architecture

- 4) *Finding – Architectural Design and Accessory Buildings.* Section 4.23.3.A.1.b., 4.23.3.A.1.c. and 4.23.4.A. of the Beaufort County 1990/3 ZDSO states that multi-unit developments shall utilize a consistent or at least stylistically compatible palette of scale, forms, colors, materials, and textures and that accessory structures should be architecturally compatible with primary structures. Not enough information was provided regarding the site accessory structures (i.e. dumpster enclosure) to determine if they meet the requirements. Provide additional information on the typical dumpster enclosures.
- 5) *Finding – Inappropriate Exterior Materials and Architectural Elements.* Section 4.23.3.A.3.a. of the Beaufort County 1990/3 ZDSO states that plywood, cinderblock, unfinished poured concrete, unfaced concrete block and plastic or metal not closely resembling painted wood clapboard are considered incompatible and inappropriate for primary or accessory structures.

As proposed, the design for the Nissan Dealership utilizes embossed aluminum sandwich panels at the side and rear of the building (ASP-1) and a corrugated steel siding (ARM-1) around the service entrances.

These materials do not resemble painted wood clapboard as required and must be revised to a more appropriate material.

As proposed, the design for the Infiniti Dealership utilizes embossed aluminum sandwich panels at the side and rear of the building. This materials does not resemble painted wood clapboard as required and must be revised to a more appropriate material.

- 6) *Finding – Signage.* Section 4.23.3.B.1.g. of the Beaufort County 1990/3 ZDSO states that an integrated sign system shall be required for all new PUDS, commercial and residential subdivisions, office complexes and shopping centers.

Town Staff finds that because this development is proposed as a new commercial subdivision it is required to have an integrated sign system with review criteria for materials, colors, shapes, sizes, compatibility with architecture and establishment of unity of design for the development. In addition to the integrated sign package, a Town of Bluffton sign permit will be required for each individual parcel/tenant as the site develops.

Lighting

- 1) *Finding – Lighting.* Section 4.23.3.C.2.a.2 of the Beaufort County 1990/3 ZDSO provides information about appropriate light sources. It states that light source should be incandescent, fluorescent, metal halide, mercury vapor or color corrected high-pressure sodium and does not mention LED lighting. As LED has become increasingly popular for its sustainable properties, the proposed fixtures are to have a K4000 temperature which is equivalent to a clear metal halide in color (see Attachment 6), and the LED fixture provides much sharper horizontal cut-off and far less light spill, it should be an acceptable light source.
- 2) *Finding – Lighting.* Section 4.23.3.C.4. of the Beaufort County 1990/3 ZDSO provides illumination levels for types of lighting.

Town Staff finds that the average illumination levels for nearly all types of lighting exceed those levels noted in the ZDSO. The proposed lighting does not meet the requirements and must be modified not to exceed the averages listed.

B. PUD MASTER PLAN

The Buckwalter Business Park Master Plan document mentions the creation of design guidelines, but none have been provided.

- 1) *Finding. Buckwalter Business Park Master Plan.* The property is noted in the Buckwalter Business Park Master Plan, at the northern edge of the Town of Bluffton adjacent to US 278. The intent for development is to

preserve and enhance the basic character of Bluffton and the quality of life that has made Bluffton both unique and appealing and to provide consistent, high quality development in keeping with the Bluffton community.

As noted above, Town Staff finds that with minor revisions to the architecture and some additional information on the dumpster enclosures, this development can meet the requirements of the DZSO.

As there are no the design guidelines established in the Bluffton Business Park Master Plan for the site, no additional architectural review was performed.

C. DEVELOPMENT PLAN

The Final Development Plan is being reviewed concurrently and was provided comment December 22, 2015.

- 1) *Finding. Preliminary Development Plan.* This project requires development plan approval from the Town of Bluffton. The Applicant has submitted the project for review and it was presented before the Development Review Committee on December 22, 2015. At that time, it was reviewed and comments provided which the Applicant. The Applicant is actively working with Town Staff to satisfy these conditions and move forward with the Final Development Plan application.

D. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS

The Declaration of Covenants, Conditions, and Restrictions for the Buckwalter Business Park Master Plan.

- 1) *Finding. Declaration of Covenants, Conditions, and Restrictions for Buckwalter Crossroads.* The project is not subject to the restrictive covenants as none are recorded with the Buckwalter Business Park Master Plan.
3. Section 3.17.3.C. The application must comply with applicable requirements in the Application Manual.
 - a. *Finding.* The application has been reviewed by Town Staff and has been determined to be complete and that it meets all requirements of the Applications Manual.

TOWN STAFF RECOMMENDATION: Town Staff finds that with the conditions noted below, the requirements of Section 3.17.3 of the Unified Development Ordinance will be met and recommends that the Planning Commission approve the application with the following conditions:

1. Landscape.

- a. Per Section 4.23.2.C.5. of the ZDSO, confirm that the existing dwarf yaupon hollies on the Nissan site meet the two and a half foot height minimum.
- b. Per Section 4.23.2.2.E.1.a of the ZDSO, at both sites incorporate wheel shops within all parking spaces at the standard distance from every landscaped median to protect the plantings.
- c. Per Section 4.23.2.2.E.1.a of the ZDSO, shrubs of at least one foot in height at installation and reasonably projected to grow to at least 2 feet in three years must be added to the median plantings at both sites.
- d. Per Section 4.23.2.2.E.1.b. of the ZDSO, the peninsula at the northern most row of parking east of the entrance at the Nissan site must be moved over one space so that there are 8 spaces on each side.
- e. Per Section 4.23.2.2.E.1.b. of the ZDSO, the Planning Commission permit the use of Arnold Tulip Poplars at both sites as an appropriate substitute for the overstory trees noted in the ZDSO.
- f. Recommendation – At both sites consider substituting some of the proposed deciduous trees with evergreen trees such as Live Oaks to provide a more year round evergreen buffer to soften the proposed parking.

2. Architecture.

- a. Per Section 4.24.3.A.4. and 4.24.3.C.2.a.ii of the ZDSO, the design of the accessory structures must coordinate with the general style of architecture in the primary structure. Provide additional drawings of the dumpster enclosures at both sites so that they may be reviewed for conformance.
- b. Per Section 4.23.3.A.3.a. of the Beaufort County ZDSO, the proposed embossed aluminum sandwich panels at the side and rear of the building (ASP-1) and a corrugated steel siding (ARM-1) around the service entrances at the Nissan site must be revised to a more appropriate material.
- c. Per Section 4.23.3.A.3.a. of the Beaufort County ZDSO, the proposed embossed aluminum sandwich panels at the side and rear of the building at the Infiniti site must be revised to a more appropriate material.
- d. Per Section 4.24.3.B.1.g. an integrated sign system with review criteria for materials, colors, shapes, sizes, compatibility with architecture and establishment of unity of design for the development must be submitted for review and approval.

3. Lighting

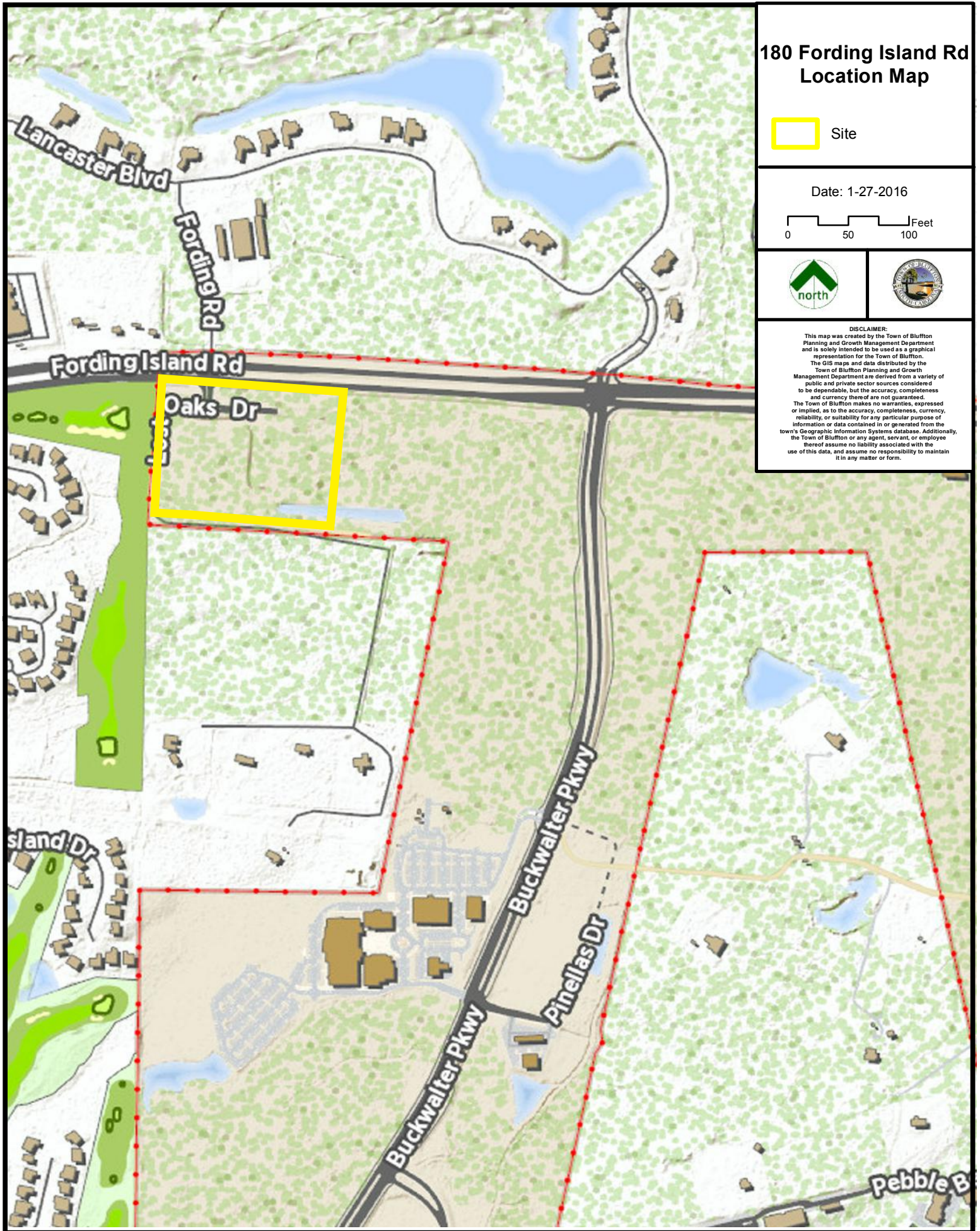
- a. Per Section 4.23.3.C.2.a.2 of the Beaufort County ZDSO, the Planning Commission find the use of LED lighting to be an appropriate substitute for the permitted light source.
- b. Per Section 4.23.3.C.4. of the Beaufort County ZDSO, the average illumination levels for the proposed lighting must be modified not to exceed the averages permitted.

4. Additional Requirements.

- a. All comments provided by the DRC for the Preliminary and Final Development Plans must be addressed to be compliant with this COA-HCOD approval.
- b. Signage Permits must be submitted to the Town of Bluffton for review and approval for the signage proposed at each site in the proposed development.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Narrative
4. Site Plan and Architectural Plans
5. Landscape Plan
6. Lighting Plan and Specifications



180 Fording Island Rd New Construction Zoning Map

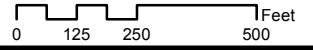


Site

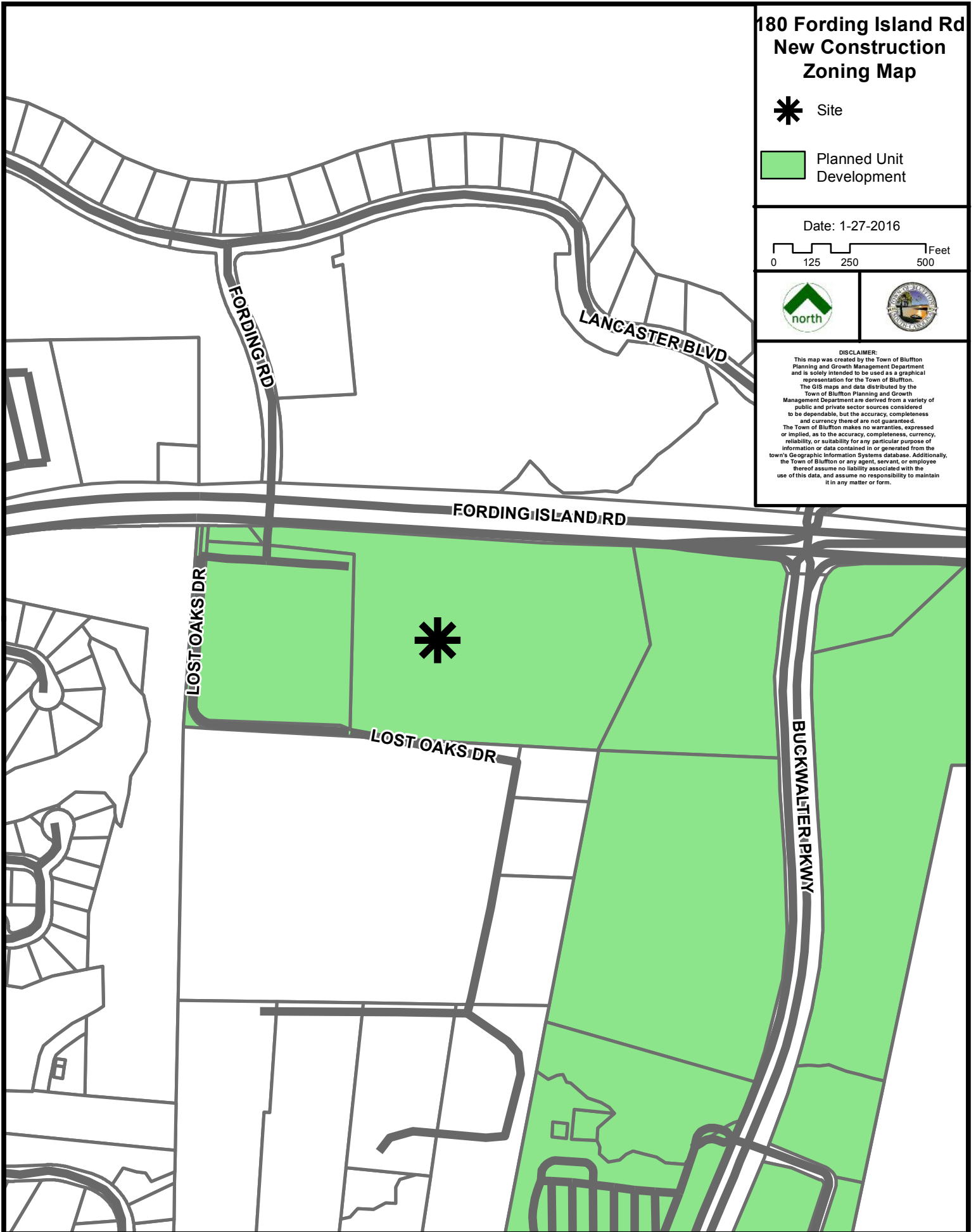


Planned Unit
Development

Date: 1-27-2016



DISCLAIMER:
This map was created by the Town of Bluffton Planning and Growth Management Department and is solely intended to be used as a graphical representation for the Town of Bluffton. The GIS maps and data distributed by the Town of Bluffton Planning and Growth Management Department are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any particular purpose of information or data contained in or generated from the town's Geographic Information Systems database. Additionally, the Town of Bluffton or any agent, servant, or employee thereof assume no liability associated with the use of this data, and assume no responsibility to maintain it in any matter or form.



**INFINITI OF HILTON HEAD
BUCKWALTER BUSINESS PARK
CERTIFICATE OF APPROPRIATENESS
TOWN OF BLUFFTON, SOUTH CAROLINA**

**Project Narrative
J – 25687.0000
December 22, 2015**

JLL, Inc. proposes to construct a new auto dealership on the central parcel within the Buckwalter Business Park. The facility will contain an approximately 18,000 s.f. dealership including sales floor, offices and service bays.

The Nissan site sits on approximately 3.6 acres of the 20.7 acre auto dealership campus which includes the properties having tax map numbers of R610 022 000 0574 0000, R610 022 000 0575 0000, R610 022 000 0576 0000, R610 022 000 1069 0000, & R610 022 000 1070 0000. The property is presently owned by four owners (Buckwalter Business Park Property Owners Association, MFLP Bluffton, LLC, WTS Bluffton, LLC and Buckwalter Property Owners Association, Inc.) and is presently zoned Buckwalter PUD under the Town of Bluffton zoning jurisdiction. A letter has been provided by Town of Bluffton staff stating that the auto use is an allowed use in the Buckwalter PUD.

A master plan amendment and preliminary development plan has been submitted related to the Buckwalter Business Park. As part of those plans, the existing 12' road within the 50' perimeter PUD buffer to the west and south is proposed to be expanded to 20' paved. This increase in width doesn't particularly apply to this parcel, therefore, with exception of a minor impact where the new 20' road turns the north, the existing buffer and pond are proposed to remain as is for this project.

The site is bound on the north by U.S. Highway 278, the south by residential lots, on the west by a proposed auto dealership, and on the east by a future proposed auto dealership and preserved wetland. Existing conditions on this site consist of a majority of pine tree cover with some hardwoods within the 3.6 acre site (see Tree Canopy with Tree Survey overlay exhibit). The existing elevations on the subject site range from elevation 23 to 34 (NAVD 88) (see topo and existing conditions exhibit).

Total open space for the Buckwalter PUD is calculated for the boundary of the PUD and not on a site specific basis for each phase of the PUD, individual development or project. However, at the Development Plan stage, each project shall demonstrate a minimum of 10% open space. With the development of this new Infiniti Facility, approximately 1.5 acres of the 3.6 acre Nissan site will be open space (41%).

The Buckwalter PUD requires a 50' buffer for the frontage of the property on Highway 278. The buffer requires six broad leafed over story trees, seven understory trees and 30 shrubs for every 100 linear feet of buffer. The existing vegetation is predominantly pine trees with under growth of sweet gum, oak, wax myrtles and other vegetation. The buffer is proposed to be hand cleared of none required vegetation and trees limbed up to the allowed 6' height. In addition to the preservation previously described, the buffer plan proposes to supplement the buffer along the highway frontage with new, predominantly evergreen plantings, but leave the majority of the buffer as it exists. The plan provides a buffer summary chart for how the buffer requirements are met. Also, the PUD requires a 5' wide planted median between all parking bays, landscaped peninsulas every 8 or fewer spaces and foundation planting buffers, all of which have been accommodated (see attached HCOD landscape plans).

**VADEN NISSAN OF HILTON HEAD
BUCKWALTER BUSINESS PARK
CERTIFICATE OF APPROPRIATENESS
TOWN OF BLUFFTON, SOUTH CAROLINA**

**Project Narrative
J – 25687.0000
December 22, 2015**

JJL, Inc. proposes to construct a new auto dealership on the western most parcel within the Buckwalter Business Park. The facility will contain an approximately 25,000 s.f. dealership including sales floor, offices and service bays.

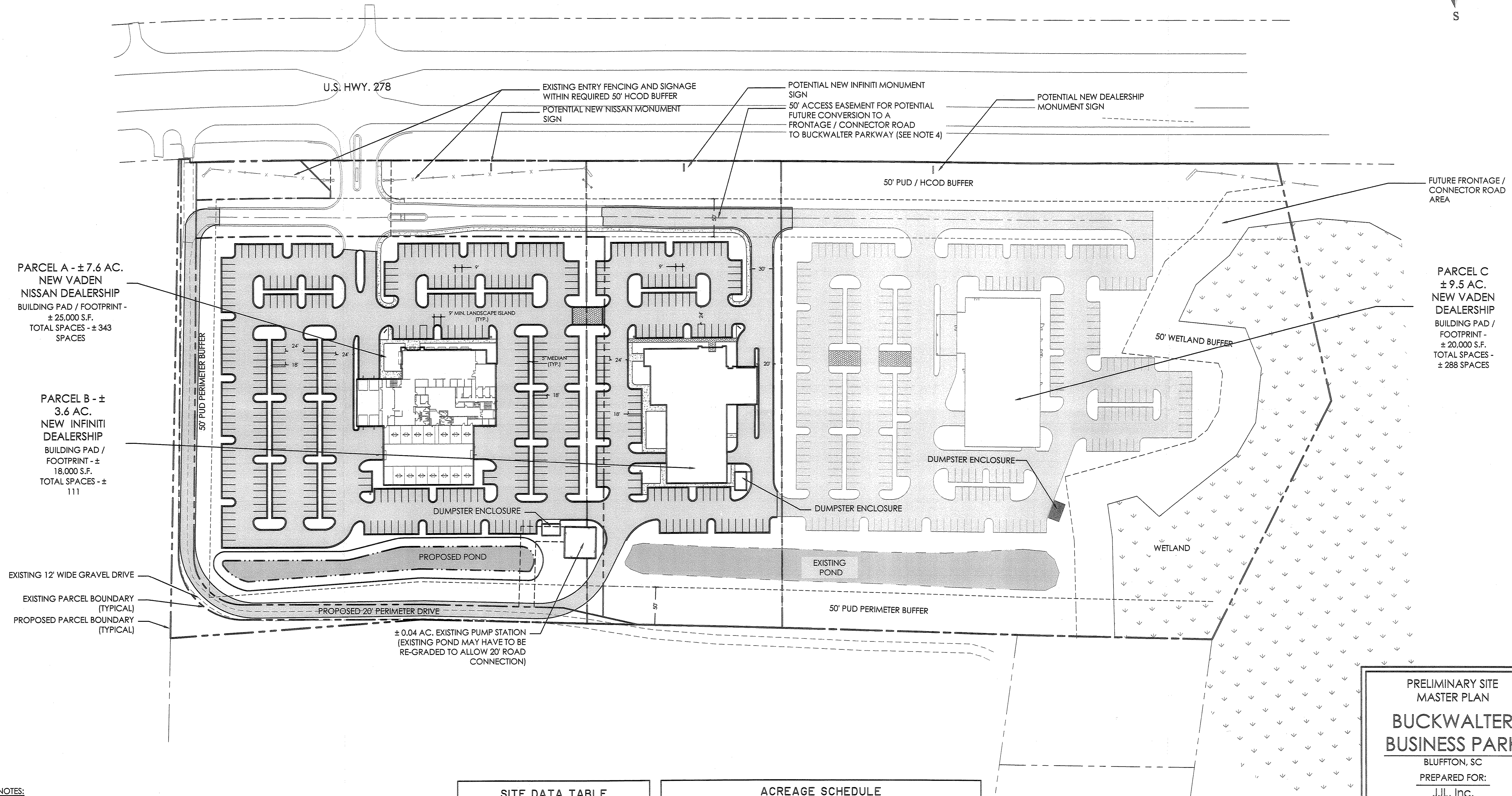
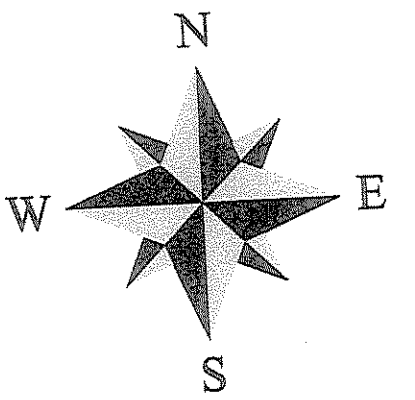
The Nissan site sits on approximately 7.6 acres of the 20.7 acre auto dealership campus which includes the properties having tax map numbers of R610 022 000 0574 0000, R610 022 000 0575 0000, R610 022 000 0576 0000, R610 022 000 1069 0000, & R610 022 000 1070 0000. The property is presently owned by four owners (Buckwalter Business Park Property Owners Association, MFLP Bluffton, LLC, WTS Bluffton, LLC and Buckwalter Property Owners Association, Inc.) and is presently zoned Buckwalter PUD under the Town of Bluffton zoning jurisdiction. A letter has been provided by Town of Bluffton staff stating that the auto use is an allowed use in the Buckwalter PUD.

A master plan amendment and preliminary development plan has been submitted related to the Buckwalter Business Park. As part of those plans, the existing 12' road within the 50' perimeter PUD buffer to the west and south is proposed to be expanded to 20' paved. In order to accommodate for the additional 8' of drive, the display parking has been offset from 8' to 14' on the west to allow for additional preservation area beyond that of the 50' PUD buffer.

The site is bound on the north by U.S. Highway 278, the south by residential lots, on the west by Island West golf course, and on the east by preserved wetland. Existing conditions on this site consist of a majority of pine tree cover with some hardwoods within the 7.6 acre site (see Tree Canopy with Tree Survey overlay exhibit). The existing elevations on the subject site range from elevation 23 to 28 (NAVD 88) (see topo and existing conditions exhibit).

Total open space for the Buckwalter PUD is calculated for the boundary of the PUD and not on a site specific basis for each phase of the PUD, individual development or project. However, at the Development Plan stage, each project shall demonstrate a minimum of 10% open space. With the development of this new Nissan Facility, approximately 3.0 acres of the 7.6 acre Nissan site will be open space (39%).

The Buckwalter PUD requires a 50' buffer for the frontage of the property on Highway 278. The buffer requires six broad leaved over story trees, seven understory trees and 30 shrubs for every 100 linear feet of buffer. The existing vegetation is predominantly pine trees with under growth of sweet gum, oak, wax myrtles and other vegetation. Also, as part of the original development, understory and shrub plantings were added to the buffer, as well as brick signage walls and white rail fencing, all of which is proposed to remain. In addition to the preservation previously described, the buffer plan proposes to supplement the buffer along the highway frontage with new, predominantly evergreen plantings, but leave the majority of the buffer as it exists. The plan provides a buffer summary chart for how the buffer requirements are met. Also, the PUD requires a 5' wide planted median between all parking bays, landscaped peninsulas every 8 or fewer spaces and foundation planting buffers, all of which have been accommodated (see attached HCOD landscape plans).



- NOTES:
1. PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE UPON REVIEW OF VARIOUS GOVERNMENTAL AGENCIES.
 2. PLAN ASSUMES STORMWATER NEEDS ARE ACCOMMODATED THROUGH EXPANSION OF THE EXISTING STORM POND, NEW SWALES AND POTENTIALLY IRRIGATING FROM THE STORM POND.
 3. PARKING SPACE YIELDS ARE APPROXIMATE.
 4. UNTIL SUCH TIME AS THE 50' ACCESS EASEMENT IS CONVERTED TO A RIGHT OF WAY FOR A CONNECTOR / FRONTAGE ROAD CONNECTING TO BUCKWALTER PARKWAY, THE OWNER SHALL RETAIN THE ABILITY TO USE THE AREA FOR PRIVATE USES, INCLUDING, BUT NOT LIMITED TO DISPLAY / SALES AREA.

SITE DATA TABLE	
ITEM	AREA (AC.)
PARCEL A	7.60
PARCEL B	3.59
PARCEL C	9.50
PUMP STATION	0.04
STREETS AND PARKING	8.34
WETLANDS	1.58
DRAINAGE LAGOONS	0.81
OPEN SPACE/ISLANDS	8.95
TOTAL SITE ACREAGE = 20.69 AC.	

ACREAGE SCHEDULE				
PARCEL	TOTAL AC.	BUFFER AC.	WETLAND AC.	NET ACREAGE
A	7.60 AC.	1.85 AC.	-	5.75 AC.
B	3.59 AC.	0.59 AC.	-	3.00 AC.
C	9.50 AC.	2.24 AC.	1.58 AC.	5.68 AC.
TOTAL NET ACREAGE = 14.43 AC.				

PRELIMINARY SITE
MASTER PLAN

**BUCKWALTER
BUSINESS PARK**

BLUFFTON, SC

PREPARED FOR:
JUL, Inc.

PREPARED BY:

THOMAS & HUTTON
Engineering | Surveying | Planning | GIS | Consulting

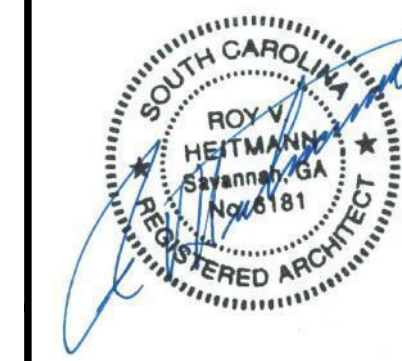
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com

JOB NO: 25487.0000 DATE: 12/3/15

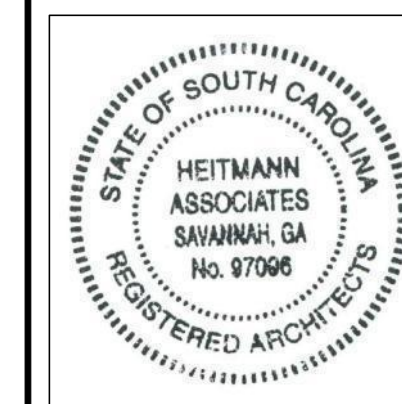
DRAWN: JPM SCALE: 1" = 60'

REVIEWED: SKM SHEET: 1 OF 1



**Heitmann
Associates**
ARCHITECTS

ROY V. HEITMANN
SC LIC. NO. 6181
SC FIRM LIC. NO. 97096



5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION:

**INFINITI
OF
HILTON HEAD**

BLUFFTON, SC

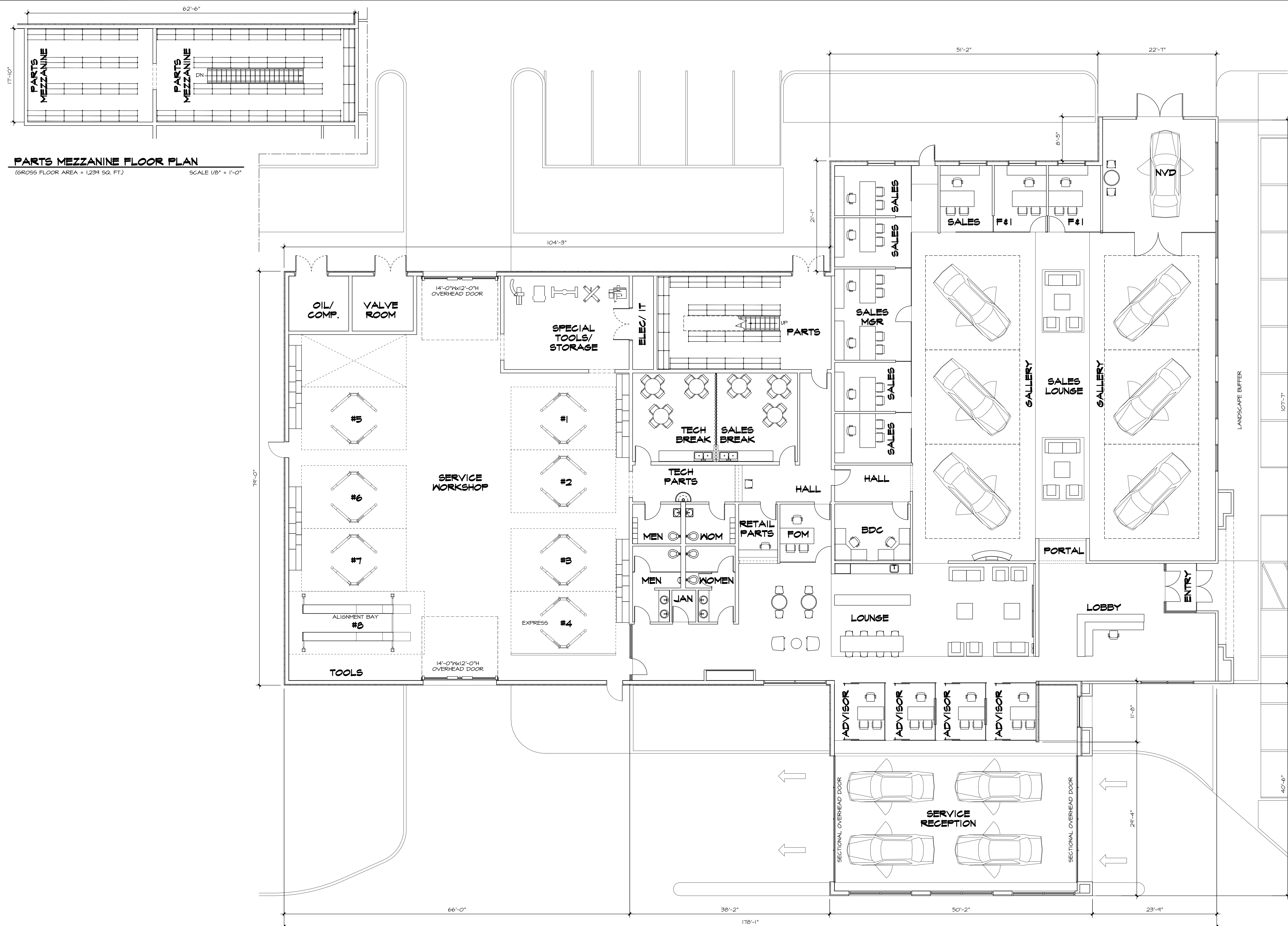
revisions	date:
scale:	17DEC15
dwn:	chk:
SJB	RVH
comm. no.	3015

dwg. title

FLOOR PLAN

dwg. no.

A=1



PARTS MEZZANINE FLOOR PLAN

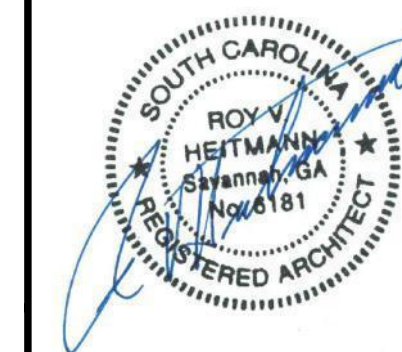
(GROSS FLOOR AREA = 1,234 SQ. FT.)

SCALE 1/8" = 1'-0"

FIRST FLOOR PLAN

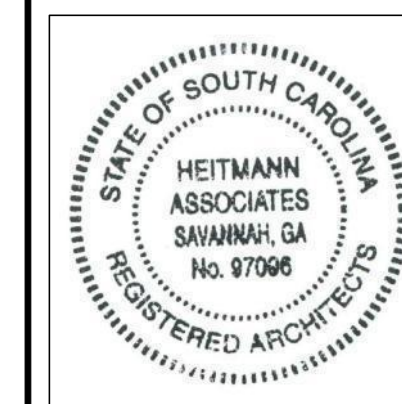
(GROSS FLOOR AREA = 17,180 SQ. FT.)

SCALE 1/8" = 1'-0"



**Heitmann
Associates**
ARCHITECTS

ROY V. HEITMANN
SC. LIC. NO. 6181
SC. FIRM LIC. NO. 97006



5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION:

**INFINITI
OF
HILTON HEAD**

BLUFFTON, SC

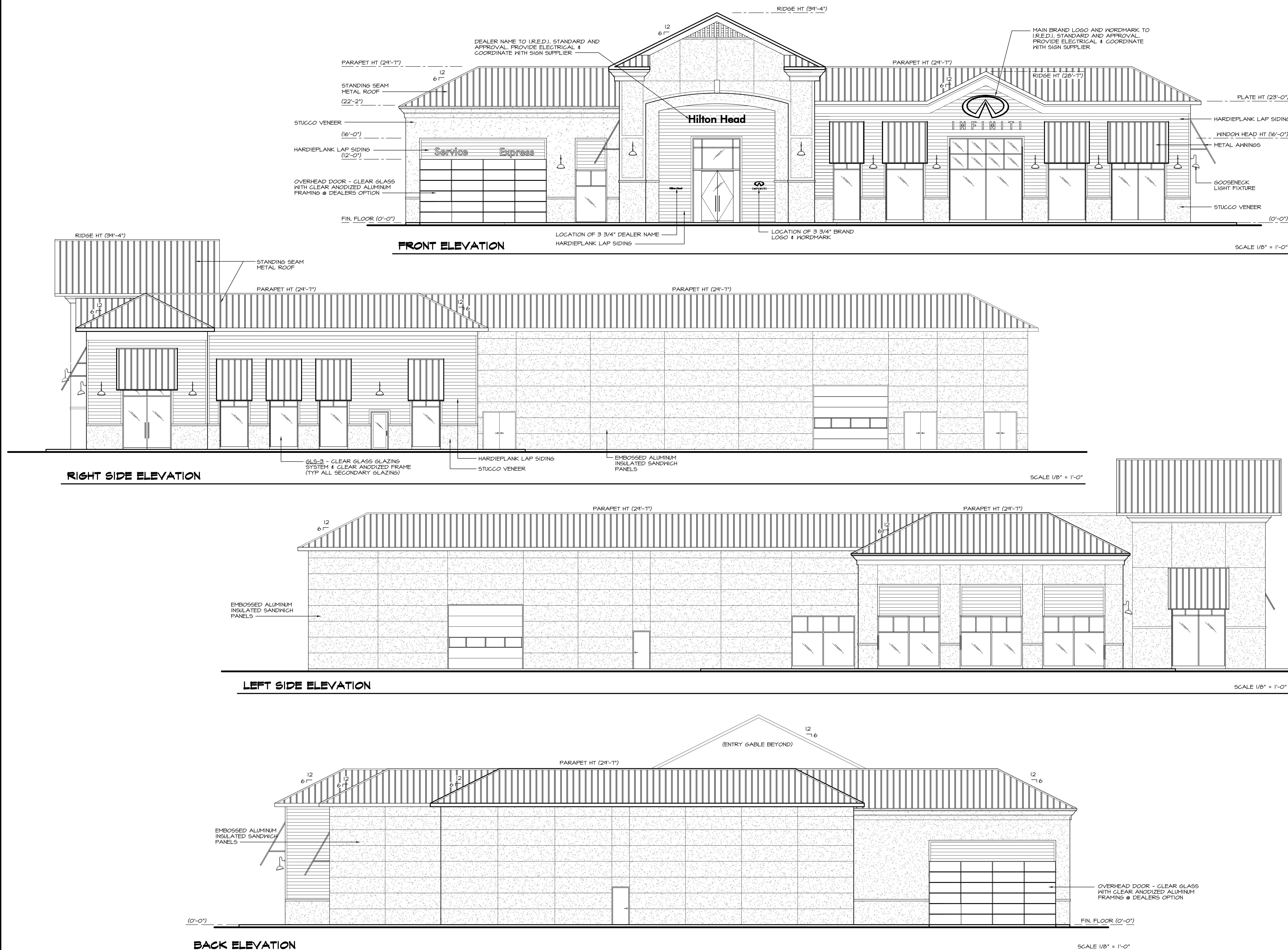
revisions		
scale:	1/8" = 1'-0"	date:
dwn:	SJB	comm. no.
chk:	RVH	3015

dwg. title

ELEVATIONS

dwg. no.

A-2





Heitmann Associates
ARCHITECTS

ROY V. HEITMANN
SC. LIC. NO. 6181
SC. FIRM LIC. NO. 97096



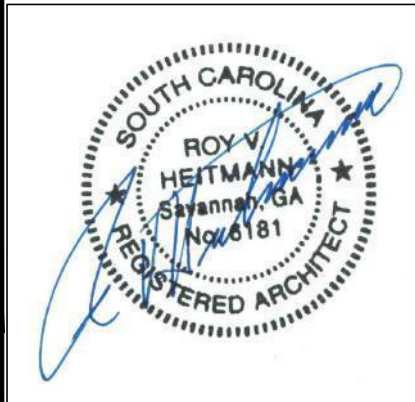
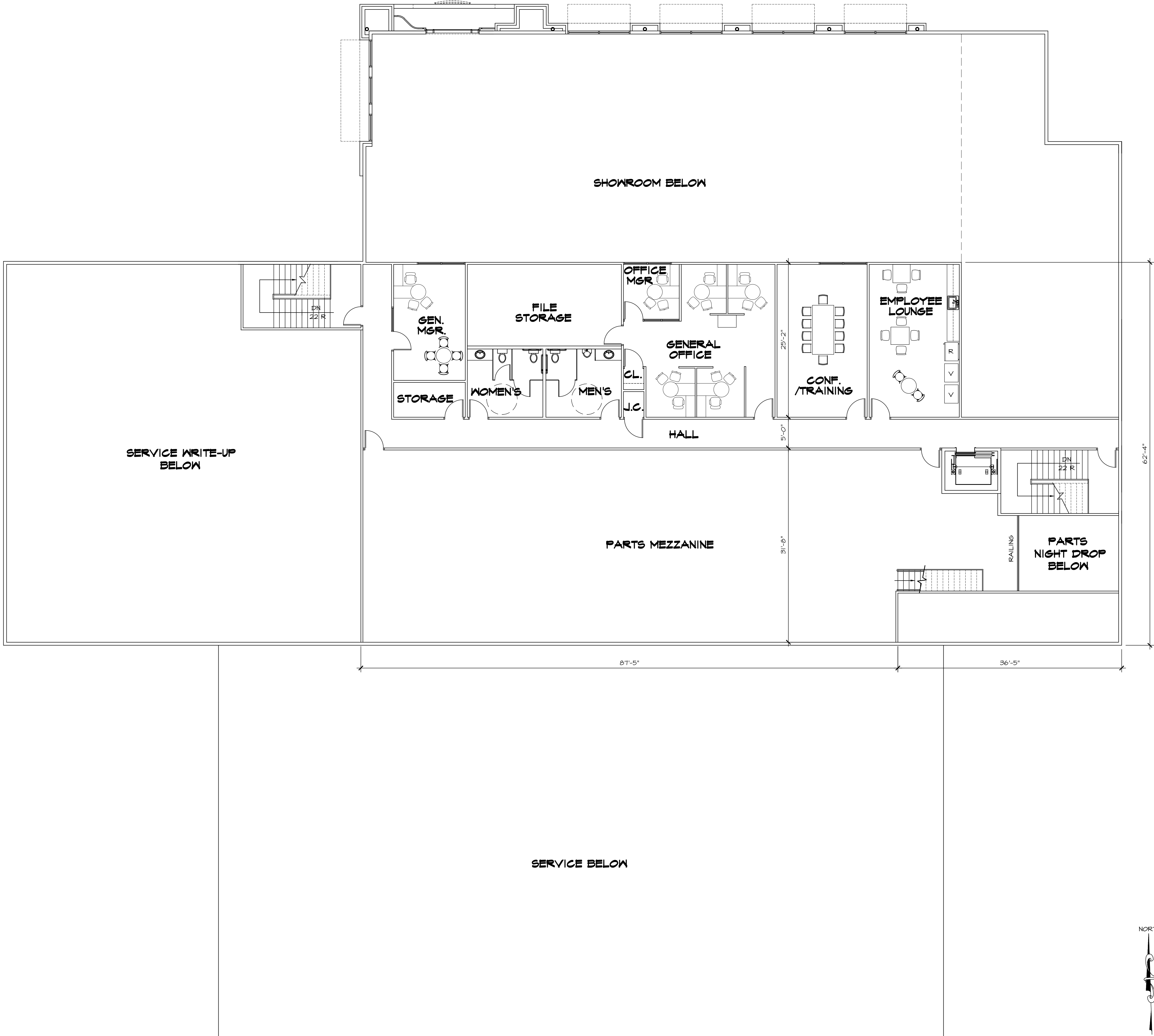
5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION:

NISSAN OF HILTON HEAD

BLUFFTON, SC



**Heitmann
Associates**
ARCHITECTS

ROY V. HEITMANN
SC. LIC. NO. 6181
SC. FIRM LIC. NO. 97096



5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION:

**NISSAN
OF
HILTON HEAD**

BLUFFTON, SC

revisions				date:
scale:	1/8" = 1'-0"	date:	11DEC15	
dwn:	SJB	chk:	RVH	comm. no. 2715

dwg. title

**SECOND
FLOOR PLAN**

dwg. no.

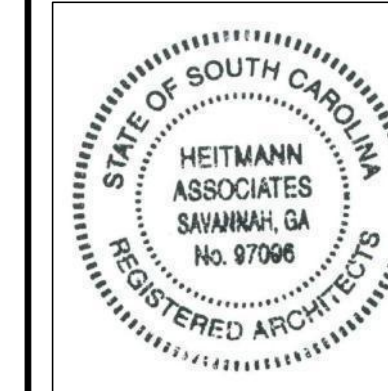
A-2

SECOND FLOOR PLAN (GROSS FLOOR AREA INCLUDING PARTS MEZZANINE = 6,900 SQ. FT.)
SCALE 1/8" = 1'-0"



**Heitmann
Associates**
ARCHITECTS

ROY V. HEITMANN
SC LIC. NO. 6181
SC FIRM LIC. NO. 97096



5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION:

**NISSAN
OF
HILTON HEAD**

BLUFFTON, SC

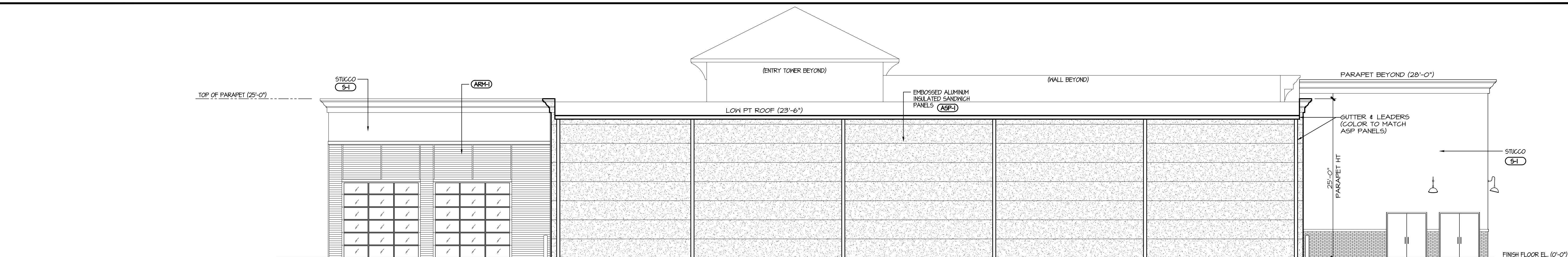
revisions	scale:	date:
1/8" = 1'-0"	15DEC15	
dwn: SJB	chk: RVH	comm. no. 2715

dwg. title

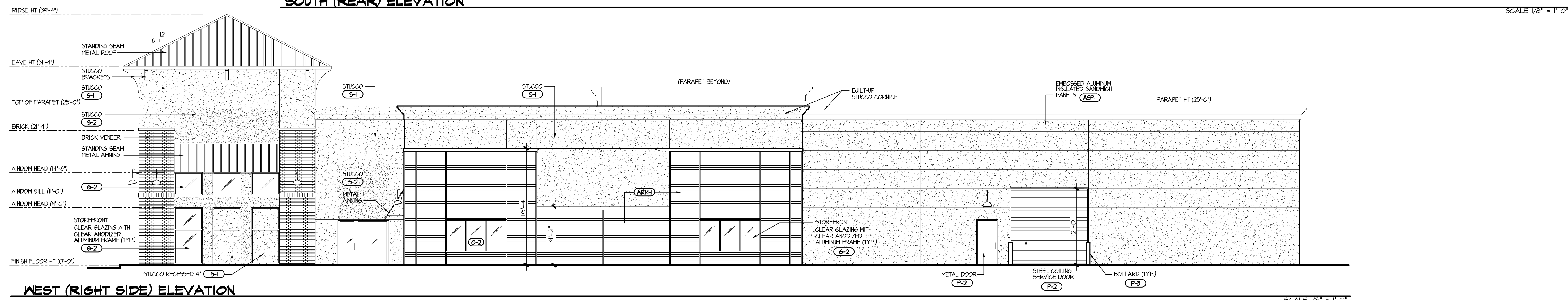
ELEVATIONS

dwg. no.

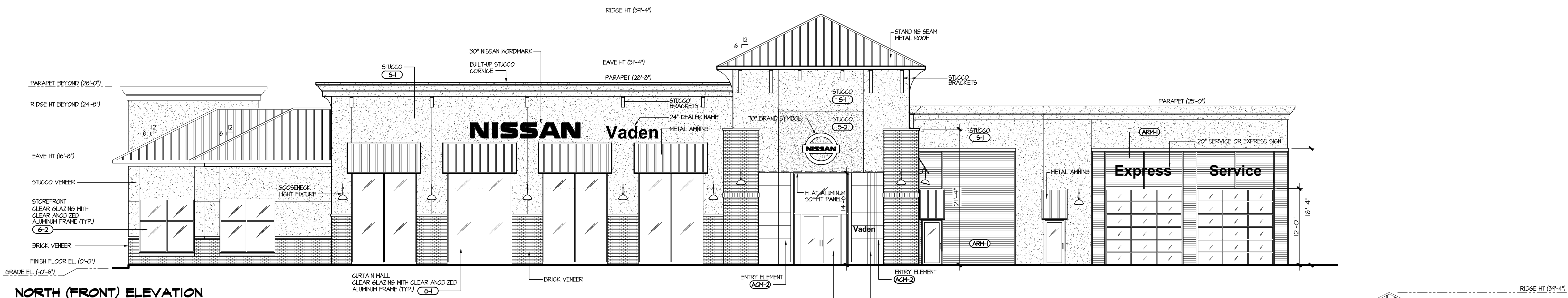
A-3



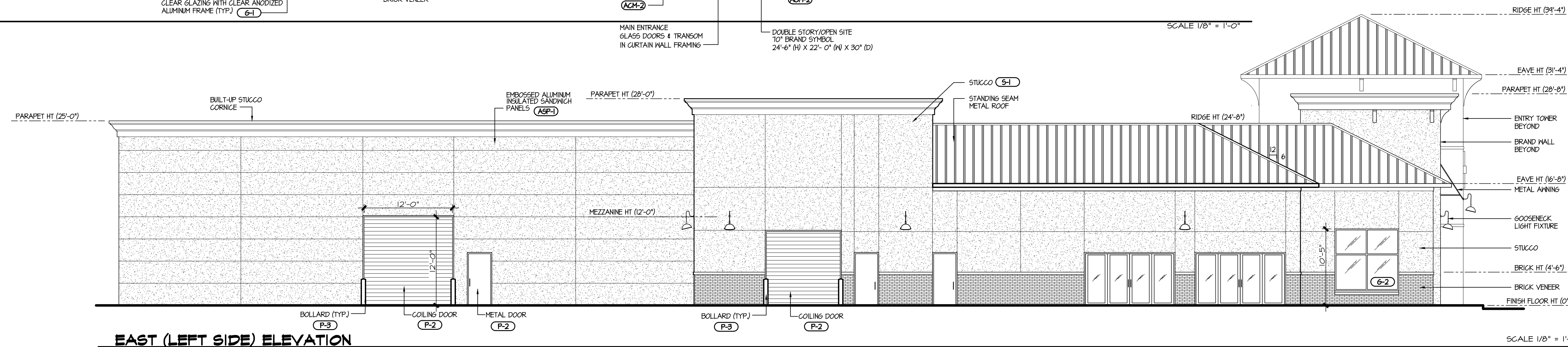
SOUTH (REAR) ELEVATION



WEST (RIGHT SIDE) ELEVATION



NORTH (FRONT) ELEVATION



EAST (LEFT SIDE) ELEVATION









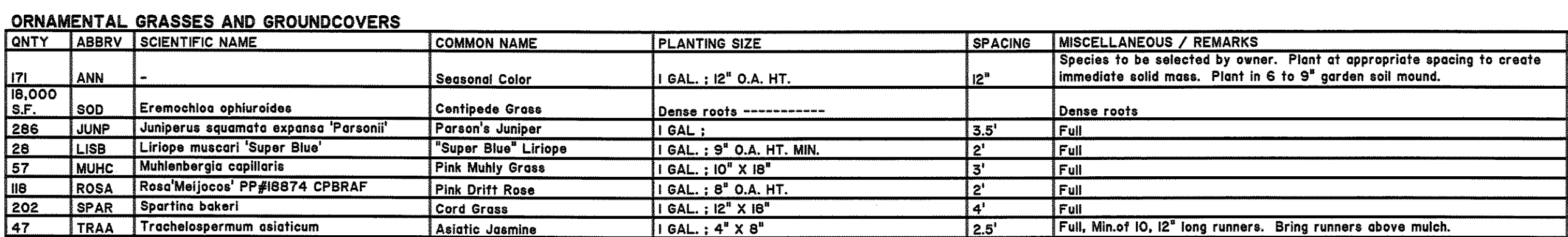
www.thomasandhutton.com

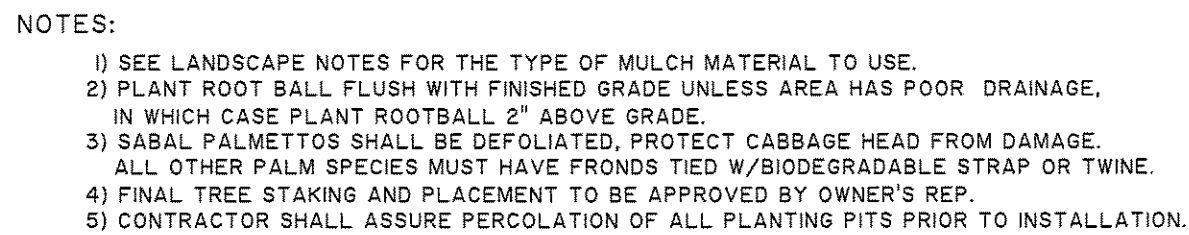
JJL, INC.
BLUFFTON, SC

NEW HILTON HEAD INFINITI DEALERSHIP

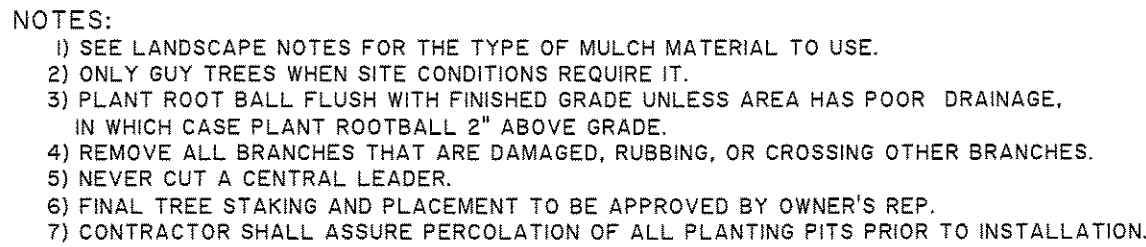
LANDSCAPE PLAN

LA1.2

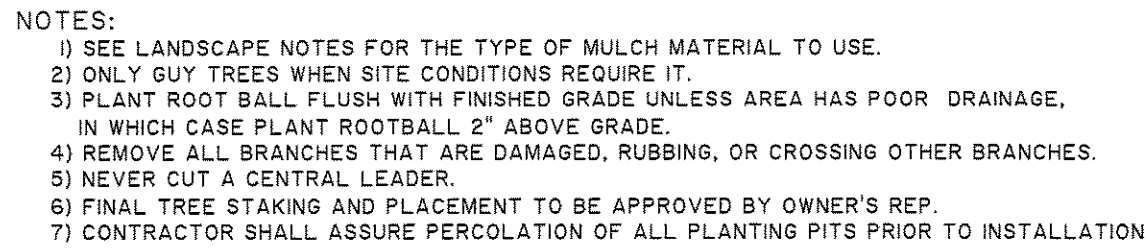




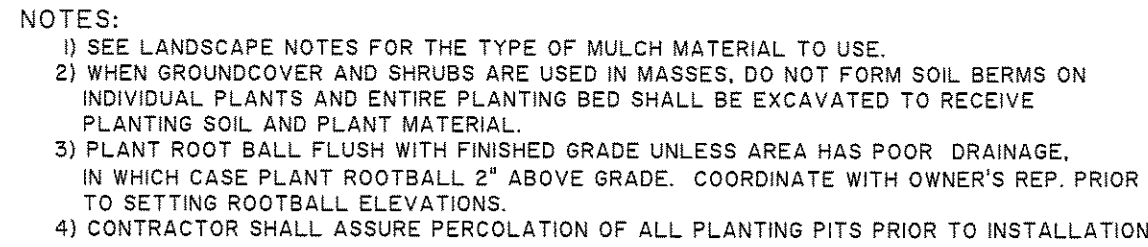
NOT TO SCALE



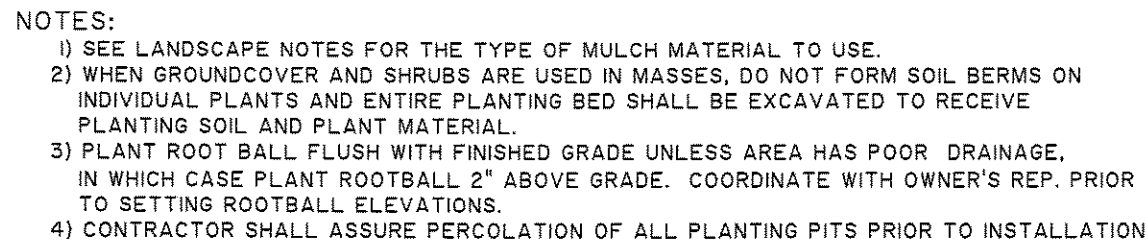
NOT TO SCALE



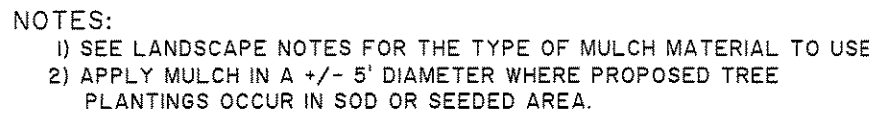
NOT TO SCALE



NOT TO SCALE



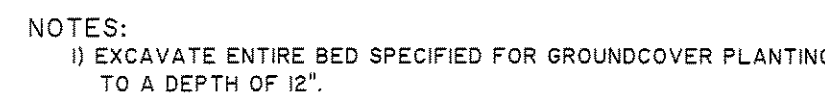
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



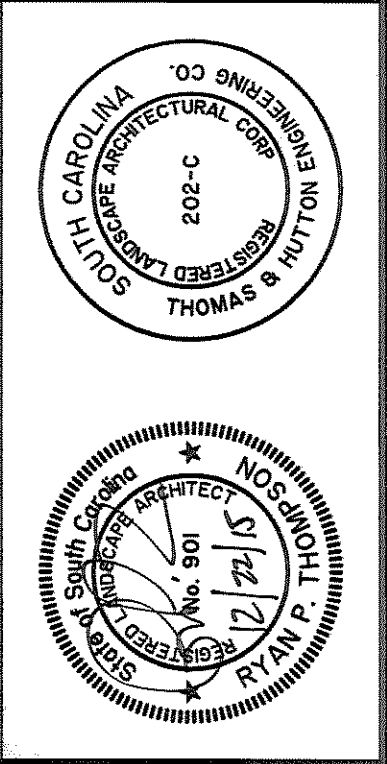
NOT TO SCALE

- | Container | Size/Amount | Caliper | Size/Amount |
|-----------|----------------|---------|-------------|
| 1 | Gallon/.75 oz. | 1" | 3.0 oz. |
| 2 | Gallon/1.5 oz. | 2" | 6.0 oz. |
| 3 | Gallon/1.5 oz. | 3" | 9.0 oz. |
| 5 | Gallon/2.0 oz. | 4" | 12.0 oz. |
| 7 | Gallon/3.0 oz. | 5" | 15.0 oz. |
| 10 | Gallon/3.0 oz. | 6" | 18.0 oz. |
| 15 | Gallon/5.0 oz. | 7" | 21.0 oz. |
| 20 | Gallon/7.0 oz. | 8" | 24.0 oz. |
-
- | Plant | Height/Amount | Box | Size/Amount |
|-------|---------------|-----|-------------|
| 2 | /1.5 oz. | 16" | 5.0 oz. |
| 3 | /2.0 oz. | 20" | 6.0 oz. |
| 4 | /3.0 oz. | 24" | 9.0 oz. |
| 5 | /4.0 oz. | 30" | 12.0 oz. |
| 6 | /5.0 oz. | 36" | 18.0 oz. |
| 7 | /6.0 oz. | 42" | 27.0 oz. |
| | | 60" | 30.0 oz. |

- | | |
|-----------|--------------|
| JOB NO: | J-25687.0000 |
| DATE: | 12-22-15 |
| DRAWN: | RPT |
| DESIGNED: | RPT |
| REVIEWED: | SKM |
| APPROVED: | RPT |
| SCALE: | N.T.S. |

LA2.1

END OF SECTION



REVISIONS		DATE
NO.	BY	

THOMAS & HUTTON

Engineering | Surveying | Planning | GIS | Consulting

50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

JJL, INC.
BLUFFTON, SC

NEW HILTON HEAD INFINITI DEALERSHIP

GRASSING SPECIFICATION

JOB NO:	J-25687.0000
DATE:	12-22-15
DRAWN:	RPT
DESIGNED:	RPT
REVIEWED:	SKM
APPROVED:	RPT
SCALE:	N.T.S.

LA2.3

GRASSING SPECIFICATION

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. Seeding, planting grass, and fertilizing graded areas around buildings, structures, soccer fields and sidewalk shoulders and other disturbed areas.
- B. Seed protection.
- C. Maintaining grassed areas until final acceptance.

1.2 RELATED WORK

- A. Civil and Landscape plans and specifications.

1.3 DELIVERY, STORAGE, AND HANDLING

- A. Deliver grass seed in original containers showing analysis of seed mixture, percentage of pure seed, year of production, net weight, date of packaging, and location of packaging. Damaged packages are not acceptable. Store in cool, dry locations away from contaminants.
- B. Deliver fertilizer in waterproof bags showing weight, chemical analysis, and name of manufacturer. Damaged bags are not acceptable. Store in cool, dry locations away from contaminants.
- C. Deliver sod on pallets.
- D. All material shall be acceptable to Engineer prior to use.

1.4 PLANTING DATES

- A. This specification provides for establishment of a permanent grass cover between the dates of March 1 and September 30. If finished earth grades are not completed in time to permit planting and establishment of permanent grass during the favorable season between dates specified above unless otherwise accepted, Contractor will be required to plant a temporary cover to protect new graded areas from erosion and to keep windborne dust to a minimum. The temporary cover shall be planted between October 1 and February 28 unless otherwise permitted.

1.5 MEASUREMENT AND PAYMENT

- A. When the season or stage of project is such results of grassing work cannot be determined, conditional acceptance will be made on work completed. When conditional acceptance is made for items of work covered, Contractor shall be entitled to 50% of bid price for the actual work placed and shall receive remaining 50% of bid price when final acceptance is made. Conditional acceptance shall not apply to the remaining items of work, and full bid price payment shall be made when work is acceptably placed and completed in accordance with specifications.
- B. Payment for grassing will be made at contract unit price for the item "Grassing" and such payment shall constitute full compensation for furnishing and placing seed and fertilizer or sod where directed and protecting and maintaining seed and sod in all graded and disturbed areas.

PART 2 - PRODUCTS

Contractor shall submit source and species certification documents to Engineer and Owner's Representative for review prior to installation. Supply complete information on all analysis / test methodologies and results; laboratory certifications, manufacturer's specifications, and agency approvals to the Landscape Architect prior to placement of soil mixtures. In addition, provide the Landscape Architect with thoroughly mixed sample of soil mixes for approval prior to placement. Landscape Contractor shall make modifications and improvements to soil mixes deemed necessary by the soil analysis to meet requirements specified here in before, and to ensure proper growing medium for plant material.

2.1 SEED

- A. All seed shall conform to all State Laws and to all requirements and regulations of the State Department of Agriculture.
- B. The varieties of seed, as specified in Section 2.2, shall be individually packaged or bagged, and tagged to show name of seed, net weight, origin, germination, lot number, and other information required by the State Department of Agriculture.
- C. The Engineer reserves the right to test, reject, or accept all seed before seeding.

2.2 SEEDING SCHEDULE

A. <u>SEED</u>	<u>RATE</u>	<u>PLANTING DATES</u>
'Princess 77' Bermuda	75 lbs/ acre	March 1 - September 30
Annual Rye (Temp only)	75 lbs/acre	October 1 - February 28

2.3 FERTILIZER

- A. Commercial fertilizer of approved type, conforming to state fertilizer laws at the rate as recommended by soils test.

2.4 LIME

- A. Agricultural grade, ground limestone at the rate as recommended by soils test.

2.5 SPRIG

- A. Healthy living stems, stolons, or rhizomes and attached roots of locally adapted grass without adhering

soil, including two to three nodes and from 4 to 6 inches long. Obtain from heavy, dense certified sod. Provide sprigs which have been grown under climatic conditions similar to those in the locality of the project. Coordinate harvesting and planting operations to prevent exposure of sprigs to the sun for more than 30 minutes before covering and moistening. Sprigs showing signs of wilt, mold, containing weeds or other detrimental material or that are heat damaged will be rejected.

- B. The varieties of sprig, as specified in section 2.6, shall be individually packaged or bagged, and tagged to show name of sprig, net weight, origin and other information required by the State Department of Agriculture.
- C. Sprigs shall be pure to variety specified and shall be free of other grass species, weeds or foreign matter.
- D. Sprigs shall be harvested by digging (not collected above soil level) shredding sod, by rototilling sod and raking, by vericutting or by a sprig harvester. Sprigs shall consist of mostly rhizomes and crowns with only a few green leaves.

2.6 SPRIGGING SCHEDULE (EDIT GRASS TYPES, RATES AND PLANTING DATES TO BE CONSISTENT WITH SPECIFIC PROJECT)

A. <u>SPRIG</u>	<u>RATE</u>	<u>PLANTING DATES</u>
Tifway 419' Bermuda (or approved equal)	1,000 bushels / ac. (Coverage in 3 months)	April 1 - August 31
Stabilize site with temporary grass seed (See section 2.2)		September 1 - March 31

- B. In areas where existing grass is to be matched, Contractor shall sprig at the rate and dates recommended by sprig distributor.

2.7 SOD

- A. Sod shall be premium grade, densely rooted, good quality grass of the species and certified variety as shown on the plans, free from noxious weeds with no surface soil being visible. The sod shall be obtained from areas where the soil is reasonably fertile. Sod of specified species with not less than 95 percent germination, not less than 85 percent pure seed, and not more than 0.5 percent weed seed. The sod shall be machine cut to a uniform soil thickness that shall contain practically all of the dense root system and not be less than 1-inch thick.
- B. Before cutting, sod shall be mowed to a height of not less than 1-1/2" or more than 2". Sod shall be cut in uniform widths min. 12" and in lengths min. 24 inches.
- C. Sod shall be delivered to site in a fresh, moist condition with healthy green foliage. It shall be unloaded from delivery trucks on pallets or rolls and placed in final position within 24 hours of delivery. Sod shall be protected from wind and sun and shall not be allowed to dry out before planting.
- D. Sod shall be strong enough to support its own weight and retain its size and shape when suspended vertically from a firm grasp on the upper 10 percent of the section.

2.8 ACCESSORIES

- A. Straw Mulch: Oat or wheat straw, reasonably free from weeds, foreign matter detrimental to plant life, and in dry condition.
- B. Excelsior Mulch: Excelsior mulch shall consist of wood fibers cut from sound, green timber. The average length of fibers shall be 4 to 6 inches. Cut shall be made in such a manner as to provide maximum strength of fiber, but at a slight angle to natural grain of the wood to cause splintering of fibers when weathering in order to provide adherence to each other and to soil.
- C. Wood cellulose fiber shall be made from wood chip particles manufactured particularly for discharging uniformly on the ground surface when dispersed by a hydraulic water sprayer. It shall remain in uniform suspension in water under agitation and blend with grass seed and fertilizer to form a homogenous slurry. Mulch fibers shall intertwine physically to form a strong moisture holding mat on the ground surface and allow rainfall to percolate into underlying soil. The mulch shall be heat processed to contain no germination or growth-inhibiting factors. It shall be dyed (non-toxic) an appropriate color to facilitate metering of material.

2.9 PRODUCT REVIEW

- A. Contractor shall provide the Engineer with a complete description of all products before ordering. The Engineer will review all products before they are ordered.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Areas to be seeded or sprigged shall be made smooth and uniform and shall conform to the finished grade indicated on plans.
- B. Remove foreign materials, plants, roots, stones, and debris from surfaces to be seeded.
- C. Grassing areas, if not loose, shall be loosened to a minimum depth of 3 inches before fertilizer, seed, sprig or sod is applied.
- D. Amendments to soils shall be incorporated into loosened 3 inch top soil layer as recommended by soils test.

3.2 STAND OF GRASS

- A. Before acceptance of seeding or sprigging is performed for the establishment of permanent vegetation, Contractor will be required to produce a satisfactory stand of perennial grass whose root system shall be developed sufficiently to survive dry periods and winter weather and be capable of re-establishment in spring.

- B. Before acceptance of seeding performed for the establishment of temporary vegetation, Contractor will be required to produce a stand of grass sufficient to control erosion for a given area and length of time before the next phase of construction or establishment of permanent vegetation is to commence.

3.3 SEEDING AND SPRIGGING DATES

- A. Seeding and sprigging shall be performed during periods and at rates specified in their respective schedules. Seeding and sprigging work may, at discretion of Contractor, be performed throughout the year using schedule prescribed for given period. Seeding and sprigging work shall not be conducted when the ground is frozen or excessively wet. Contractor will be required to produce a satisfactory stand of grass regardless of the period of year work is performed.

3.4 APPLYING LIME AND FERTILIZER

- A. Following advance preparation and placing selected material for shoulders and slopes, lime and fertilizer, if called for based on soil tests, shall be spread uniformly over the designated areas, and shall be thoroughly mixed with the soil to a depth of approximately 2 inches. Fertilizer and lime shall be applied at the rate at the rate recommended by required soils test. Unless otherwise provided, lime will not be applied for temporary seeding. In all cases where practicable, acceptable mechanical spreaders shall be used for spreading fertilizer. On steep slopes subject to slides and inaccessible to power equipment, the slopes shall be adequately scarified. Fertilizer may be applied on steep slopes by hydraulic methods as a mixture of fertilizer and seed. When fertilizer is applied with combination seed and fertilizer drills, no further incorporation will be necessary. The fertilizer and seed shall be applied together when Wood Cellulose Fiber Mulch is used. Any stones larger than 2 ½ inches in any dimension, larger clods, roots, or other debris brought to the surface shall be removed.

3.5 SEEDING

- A. Seed shall be sown within 24 hours following application of fertilizer and lime and preparation of the seedbed as specified in Section 3.4. Seed shall be uniformly sown at rate specified by the use of acceptable mechanical seed drills. Rotary hand seeders, power sprayers or other satisfactory equipment may be used on steep slopes or on other areas inaccessible to seed drills.
- B. Seeds shall be covered and lightly compacted by means of cultipacker or light roller if the drill does not perform this operation. On slopes inaccessible to compaction equipment, the seed shall be covered by dragging spiked chains, by light harrowing or by other satisfactory methods.
- C. Apply water with fine spray immediately after each area has been sown.
- D. Do not sow seed when ground is too dry, during windy periods or immediately following a rain.
- E. If permitted by the special provisions, wood cellulose fiber mulch or excelsior fiber mulch may be used.

3.6 SEED PROTECTION (STRAW MULCH)

- A. All seeded areas seeded with permanent grasses shall be uniformly mulched in a continuous blanket immediately following seeding and compacting operations, using at least 2 tons of straw per acre.

3.7 SEED PROTECTION (EXCELSIOR MULCH)

- A. Seed shall be sown as specified in Section 3.5. Within 24 hours after covering of seed, excelsior mulch shall be uniformly applied at the rate of 2 tons per acre. The mulch may be applied hydraulically or by other acceptable methods. Should the mulch be placed in a dry condition, it shall be thoroughly wetted immediately after placing. Engineer may require light rolling of the mulch to form a tight mat.

3.8 SEED PROTECTION (WOOD CELLULOSE FIBER MULCH)

- A. After the lime has been applied and ground prepared as specified in Section 3.4, wood cellulose fiber mulch shall be applied at a rate of 1,500 pounds per acre in a mixture of seed and fertilizer. Hydraulic equipment shall be used for application of fertilizer, seed, and slurry of the prepared wood pulp. This equipment shall have a built-in agitation system with an operating capacity sufficient to agitate, suspend, and homogeneously mix a slurry of the specified amount of fiber, fertilizer, seed, and water. The slurry distribution lines shall be large enough to prevent stoppage. The discharge line shall be equipped with a set of hydraulic spray nozzles which will provide an even distribution of slurry on various areas to be seeded. The slurry tank shall have a minimum capacity of 1,000 gallons.

Seed, fertilizer, wood pulp mulch, and water shall all be combined into the slurry tank for distribution of all ingredients in one operation by hydraulic seeding method specified herein. Materials shall be combined in a manner recommended by the manufacturer. The slurry mixture shall be regulated so amounts and rates of application shall result in a uniform application of all materials at rates not less than amount specified. Using the color of wood pulp as a guide, equipment operator shall spray prepared seedbed with a uniform visible coat. The slurry shall be applied in a sweeping motion, in an arched stream to fall like rain, allowing wood fibers to build upon each other until an even coat is achieved.

3.9 SPRIGGING

- A. Sprigs shall be placed at the date and rates as shown in section 2.6. The sprigging method shall be by broadcast sprigging, hydroplanting or row planter. Sprigging procedure shall ensure even coverage.
- B. Sprigs applied by broadcast over the site with a distributor or hydroseeder shall be planted at the rates listed in section 2.6. Cover broadcast sprigs with straw mulch immediately after broadcast and water in immediately (within 2 hours).
- C. Sprigs installed by row planter creating a narrow furrow that covers 50 to 80% of the sprig with soil may use less sprig material. Rate shall be as recommended by sprig supplier to provide a solid stand of turf within the time required in Section 2.6. Water in immediately (within 1 hour).

3.10 SODDING

- A. Sod shall be placed between March 1st and December 1st. However, if sod is to be placed during periods of temperatures over 90 degrees F., the contractor shall take extra care for quick placement of sod with adequate, consistent watering necessary to ensure sod thrives as planted.

- B. Sod shall be placed within 24 hours of cutting.
- C. Place top elevation of sod 1/2 inch below adjoining paving or curbs.
- D. All areas to be sodded shall be brought to the proper line grade or cross section as was existing prior to construction. Sod shall be placed so that, upon completion, the edges of the sodded areas will be smooth and will conform to the proposed finished grade. Sod shall be laid smooth, edge to edge, with staggered joints. Sod shall be immediately pressed firmly into contact with the sod bed by tamping or rolling, to eliminate any air pockets. A true and even surface shall be provided, to insure knifling without displacement of the sod or deformation of the surfaces of the sodded areas. Do not stretch or overlap sod pieces. Following compaction, screened soil of good quality shall be used to fill all cracks, and excess soil shall be worked into the grass with rakes or other suitable equipment. On slopes steeper than 3 to 1, the sod shall be fastened in place with suitable wood or metal pins to hold the sod in place. Any damage by erosion or other causes that may have occurred after completion of grading operations shall be repaired, before commencing with the sodding operations.
- E. Immediately before sodding, moisten topsoil with a fine spray to a minimum 1" depth. Sod shall not be laid on soil that is dry and powdery.
- F. Sod shall be moist when laid and placed on moist ground. The sod shall be carefully placed by hand, beginning at the toe of slopes and working upwards. The length of the strips shall be at right angles to the flow of surface water. All joints shall be tightly butted and end joints shall be staggered at least 12 inches. The sod shall be immediately pressed firmly into the ground by tamping or rolling. Fill all joints between strips with fine screened soil. Sod on slopes shall be pegged with sod pegs to prevent movement. The sod shall be watered, mowed, weeded, repaired, or otherwise maintained, to insure the establishment of a uniform healthy stand of grass until acceptance.
- G. Within 2 hours after sod has been placed, thoroughly water to a minimum depth of 4". After sod and soil have dried, roll sodded areas to ensure good bond between sod and soil and to remove depressions and irregularities. Roll sodded areas with a roller not exceeding 150 lbs. per foot of roller width. Top dress and roll again as necessary to create a smooth even surface.

PART 4 - MAINTENANCE, WARRANTY AND ACCEPTANCE

4.1 MAINTENANCE

- A. Maintenance shall consist of providing protection against traffic, watering to ensure uniform seed germination and to keep surface of soil damp, and repairing any areas damaged to ensure uniform construction operations or erosion. Maintenance shall also include, but is not limited to, watering, weeding, cultivating, removal of dead material, lawn mowing, fertilizing, and other necessary operations.

- B. The Contractor shall maintain all proposed plantings until the date of final acceptance by the Owner.

4.2 WARRANTY

- A. All grassed areas shall be guaranteed by the Contractor to be alive and healthy for a one year period from the date of substantial completion issued by the Owner. A final inspection with the Owner shall be conducted at the end of the warranty period to determine if any areas require replanting. At the end of the warranty period, the sod shall show evidence of rooting to the underlying soil and shall have no competitive weed growth from either the sod or from between the sod joints.
- B. Any grassed area which is dead or not showing satisfactory growth shall be replaced at Contractor's expense at the end of warranty period. All replacements shall be of original quality and of a size equal to adjacent plants or trees of the same kind. Replacements required because of vandalism, excessive use or other causes beyond the control of the Contractor are not part of this contract.

4.3 ACCEPTANCE

- A. Before acceptance of seeding performed for the establishment of permanent vegetation, Contractor will be required to produce a satisfactory stand of perennial grass whose root system shall be developed sufficiently to survive dry periods and winter weather and be capable of reestablishment in spring.
- B. A minimum coverage of 80% density over 100% of the disturbed area is required for seeded areas before project acceptance. Sprig and sod areas shall have 95 % coverage over 100% of the disturbed area prior project acceptance.

END OF SECTION

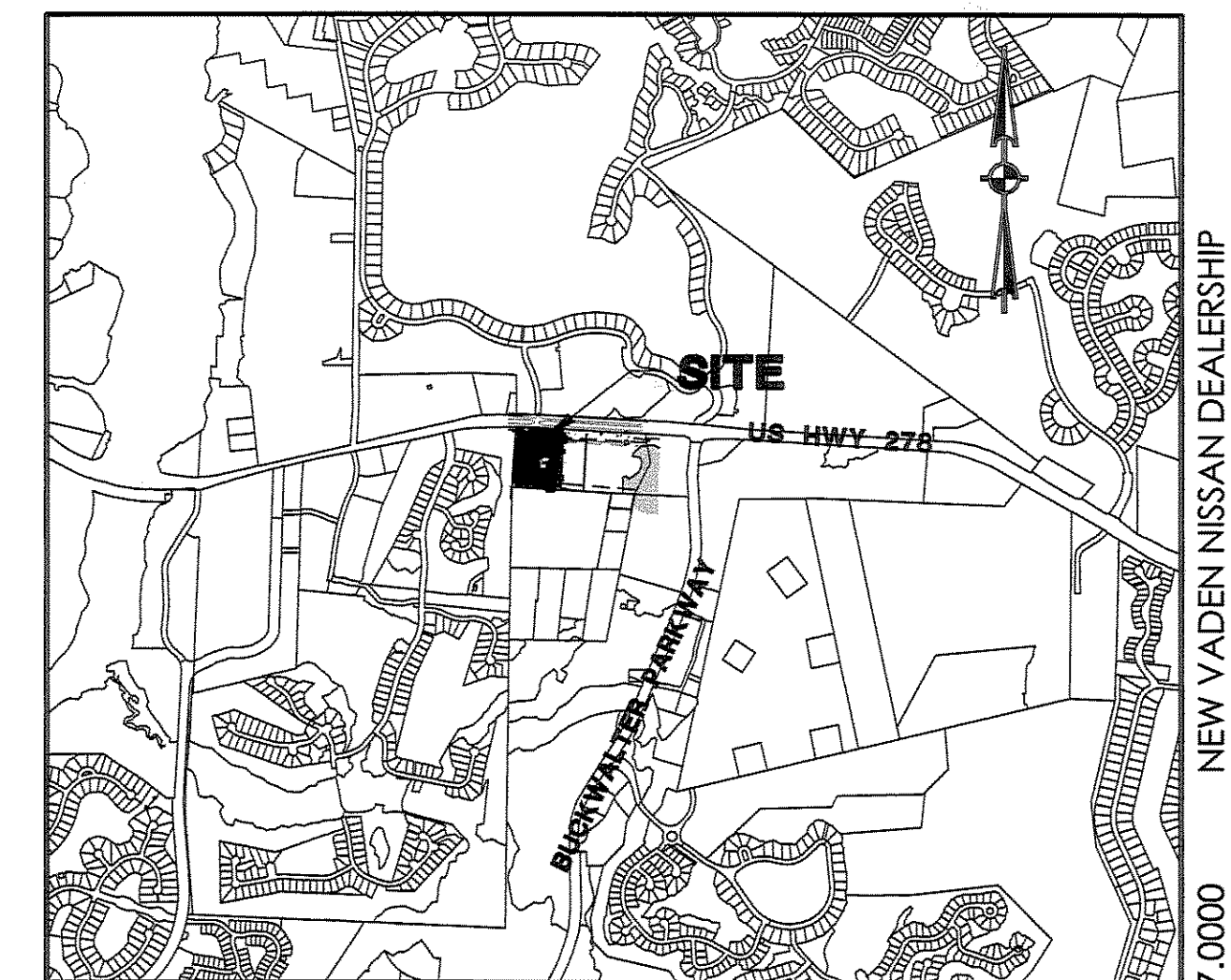
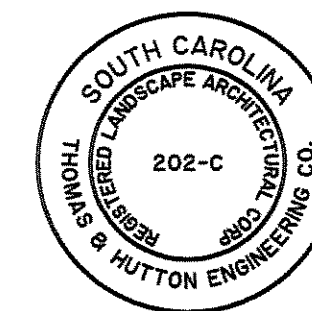
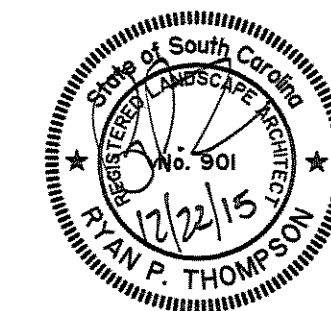
BLUFFTON, SC

PREPARED FOR:
J.J.L., INC.
12020 ABERCORN STREET
SAVANNAH, GA 31416

TM# R610 022 000 0574 0000, R610 022 000 0575 0000, R610 022 000 0576 0000, R610 022 000 1069
0000, & R610 022 000 1070 0000
DECEMBER 22, 2015

J-25687.0000

PREPARED BY:



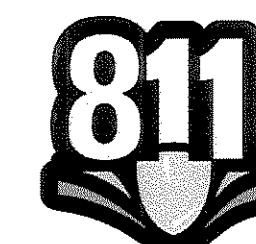
VICINITY MAP
SCALE: 1" = 2000'

J-25687.0000 NEW VADEN NISSAN DEALERSHIP
12-22-15

Sheet List Table	
Sheet Number	Sheet Title
CO	COVER SHEET
LA1.1	LANDSCAPE PLAN
LA1.2	LANDSCAPE PLAN
LA1.3	PLANT SCHEDULE AND BUFFER SUMMARY
LA2.1	PLANTING DETAILS AND NOTES
LA2.2	LANDSCAPING SPECIFICATION
LA2.3	GRASSING SPECIFICATION

[illegible]

SUBMITTAL HISTORY	
SUBMITTED TO BLUFFTON FOR HCOD REVIEW	12/22/15
SUBMITTED TO	DATE



Know what's below.
Call before you dig.



50 Park of Commerce Way
Savannah, GA 31405
p.912.234.5300 f.912.234.2950

www.thomasandhutton.com

LA1.1

LA1.1

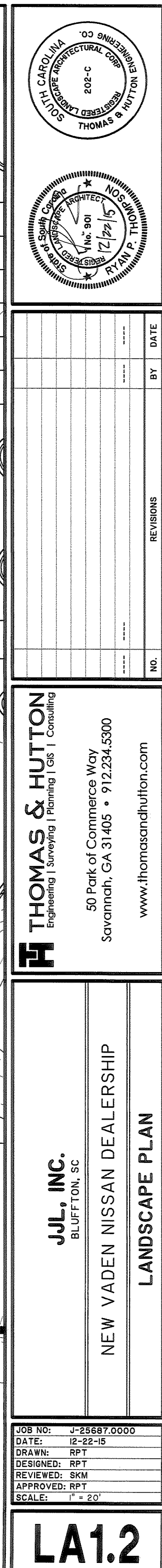
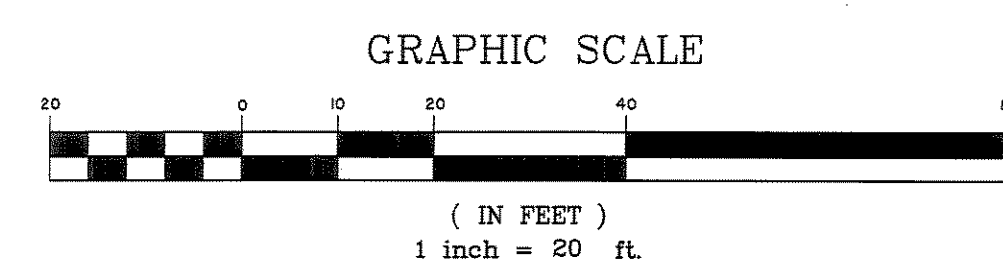
(IN FEET)
1 inch = 2 f

MATCH LINE - SEE SHEET NO. LA1.1

TREE PROTECTION ZONE - WITH THE EXCEPTION OF REQUIRED
CLEARING AND GRADING NECESSARY FOR CONSTRUCTION OF 20'
PAVED DRIVE, THIS AREA TO BE PRESERVED VEGETATION WITH MINOR
HEDGING. THE ONLY TREES THAT MAY BE REMOVED FROM THE
BUFFER ARE TO BE UNDER 6 INCHES, DEAD / DISEASED, OR
INVASIVE SPECIES.

*** NOTE TO CONTRACTOR ***

72 BUSINESS HOURS OF NOTICE SHALL BE GIVEN TO THE LANDSCAPE
ARCHITECT AND OWNER'S REPRESENTATIVE TO SCHEDULE AN ONSITE
MEETING TO DETERMINE WHAT AREAS ARE TO RECEIVE MINOR HAND
CLEARING BASED ON ACTUAL FIELD CONDITIONS .





PLANT SCHEDULE

LA1.3

Z:\25687\25687.0000\ford planning\Drawings\bluffton hrod\Missen\25687.0000-NS-LA-DET.dwg - Dec 22, 2016 - 7:39:42 AM

B. Any lawn, plant, or tree which is dead or not showing satisfactory growth shall be replaced at Contractor's expense at the end of warranty period. All replacements shall be of original quality and of a size equal to adjacent plants or trees of the same kind.

END OF SECTION

Z:\25597\25597.0000\land plimring\Drawings\bluffton hscg\Misses\25597.0000-NS-LA-DET.dwg - Dao 22 2015 - 7:42:34 AM

1.1 SECTION INCLUDES

- ## 1.2 RELATED WORK

- ### 1.3 DELIVERY, STORAGE, AND HANDLING

- #### 1.4 PLANTING DATES

- ## 1.5 MEASUREMENT AND PAYMENT

- ## PART 2 - PRODUCTS

2.1 SEED

- ## 2.2 SEEDING SCHEDULE

2.3 FERTILIZER

- ## 2.4 LIME

- ## 2.5 SPRIG

- A. Healthy living stems, stolons, or rhizomes and attached roots of locally adapted grass without adhering

2.6 SPRIGGING SCHEDULE (EDIT GRASS TYPES, RATES AND PLANTING DATES TO BE CONSISTENT WITH SPECIFIC PROJECT)

2.7 SOD

- ## 2.8 ACCESSORIES

- ## 2.9 PRODUCT REVIEW

- ### PART 3 - EXECUTION

3.1 PREPARATION

- ### 3.2 STAND OF GRASS

- ### 3.3 SEEDING AND SPRIGGING DATES

- ### 3.4 APPLYING LIME AND FERTILIZER

- ### 3.5 SEEDING

- E. If permitted by the special provisions, wood cellulose fiber mulch or excelsior fiber mulch may be used.

3.6 SEED PROTECTION (STRAW MULCH)

- ### 3.7 SEED PROTECTION (EXCELSIOR MULCH)

- ### 3.8 SEED PROTECTION (WOOD CELLULOSE FIBER MULCH)

- ### 3.9 SPRIGGING

- ### 3.10 SODDING

- A. Sod shall be placed between March 1st and December 1st. However, if sod is to be placed during periods of temperatures over 90 degrees F., the contractor shall take extra care for quick placement of sod with adequate, consistent watering necessary to ensure sod thrives as planted.

- ## PART 4 - MAINTENANCE, WARRANTY AND ACCEPTANCE

4.1 MAINTENANCE

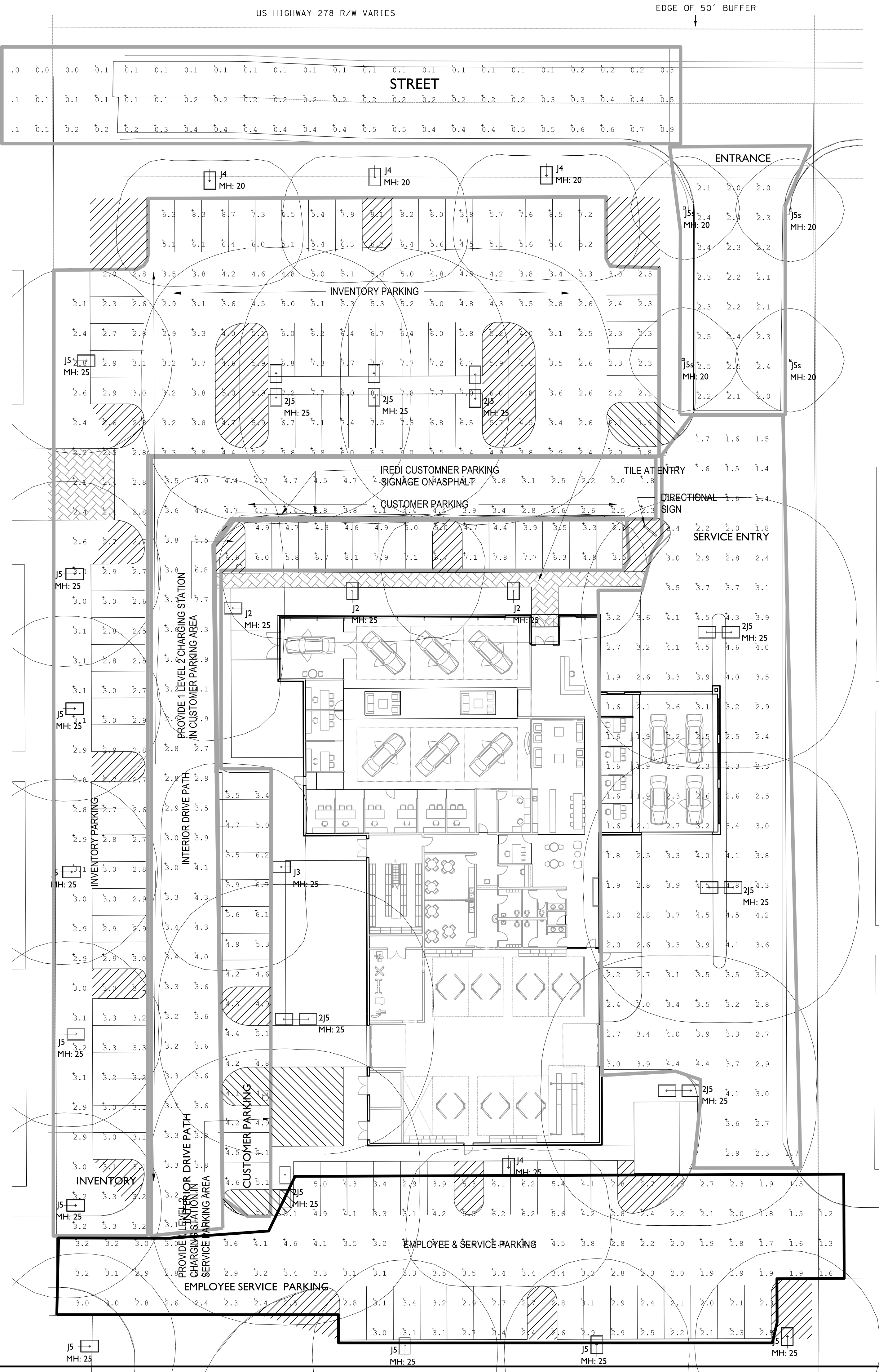
- B. The Contractor shall maintain all proposed plantings until the date of final acceptance by the Owner.

4.2 WARRANTY

- ### 4.3 ACCEPTANCE

- A. Before acceptance of seeding performed for the establishment of permanent vegetation, Contractor will be required to produce a satisfactory stand of perennial grass whose root system shall be developed sufficiently to survive dry periods and winter weather and be capable of reestablishment in spring.
- B. A minimum coverage of 80% density over 100% of the disturbed area is required for seeded areas before project acceptance. Sprig and sod areas shall have 95 % coverage over 100% of the disturbed area prior project acceptance.

END OF SECTION



AREAS WITH TREES.
NO LIGHTS. EVERY
8 PARKING SPACES
OR LESS REQUIRE
TREES.

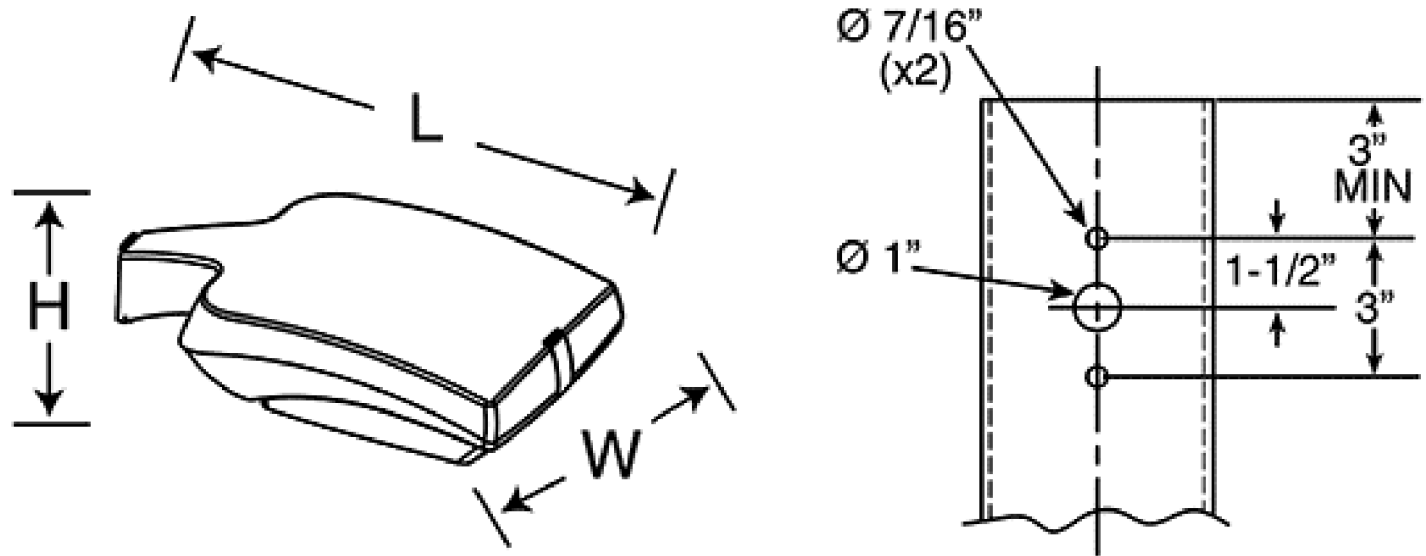
AREA LIGHTING: JUNO ALARI LED, 4000*, TYPE III, OR FT.
MIN MTG AT 20' MAX MT AT 30'. LIGHTING LEVELS
REQUIRED: ENTRANCES FROM HWY 278:
.2FC MIN, AVE-1FC MAX-10FC. AREAS FOR DISPLAY
OF OUTDOOR MERCHANDISE: 1FC MIN, 5FC AVE.
15FC MAX REFER TO PARA. C OF CRITERIA FOR
ADDITIONAL REQUIREMENTS POINT BY POINTS
BASED ON A 10' GRID. HOUSE SHIELDS/CUTOFFS
AT PERIMETERS OF SITE.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Lum. Watts
	4	J4	SINGLE	N.A.	0.900	JUNO A2-B15-4K-UN-FT-A2HSS	172.7
	1	J3	SINGLE	N.A.	0.900	JUNO A2-B15-4K-UN-3	173.1
	10	J5	SINGLE	N.A.	0.900	JUNO A2-B15-4K-UN-5	171.7
	8	J2	BACK-BACK	N.A.	0.900	JUNO 2 A2-B15-4K-UN-5	171.7
	3	J1	SINGLE	N.A.	0.900	JUNO A2-B15-4K-UN-2	171.9
	4	J6	SINGLE	N.A.	0.900	JUNO A2-B06-4K-UN-5	72.07

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CUSTOMER PARKING	Illuminance	Fc	5.17	8.1	2.9	1.78	2.79
EMPLOYEE SERVICE PARKING	Illuminance	Fc	3.10	6.2	1.2	2.58	5.17
ENTRANCE	Illuminance	Fc	2.26	2.5	2.0	1.13	1.25
INTERIOR DRIVE PATH	Illuminance	Fc	3.75	7.7	1.8	2.08	4.28
INVENTORY	Illuminance	Fc	4.17	9.1	1.8	2.32	5.06
SERVICE ENTRY	Illuminance	Fc	2.93	4.8	1.4	2.09	3.43
STREET	Illuminance	Fc	0.23	0.9	0.0	N.A.	N.A.



	EPA	L	W	H	Weight
A2 Series	1.2 ft²	32"	18 5/8"	7 9/16"	52 lb.



Heitmann
Associates
ARCHITECTS

ROY V. HEITMANN
GA. LIC. NO. 9272

5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION FOR:

VADEN
INFINITI

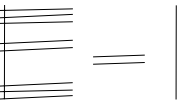
BLUFFTON
SOUTH CAROLINA

revisions	date:
scale: 1" = 20'-0"	23-DEC-2015
dwn: SH	chk: WP
comm. no. 3115	

dwg. title

LIGHTING
SITE PLAN

dwg. no.



Heitmann
Associates
ARCHITECTS

ROY V. HEITMANN
GA. LIC. NO. 9272

5102 PAULSEN ST.
BUILDING #8 31405
SAVANNAH, GEORGIA

TEL 912-352-1505
FAX 912-352-3505

NEW CONSTRUCTION FOR:

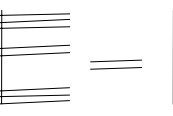
VADEN
NISSAN

BLUFFTON
SOUTH CAROLINA

revisions		
scale:	1" = 20'-0"	date:
dwn:	SH	23-DEC-2015
chk:	WP	comm. no.
		3115

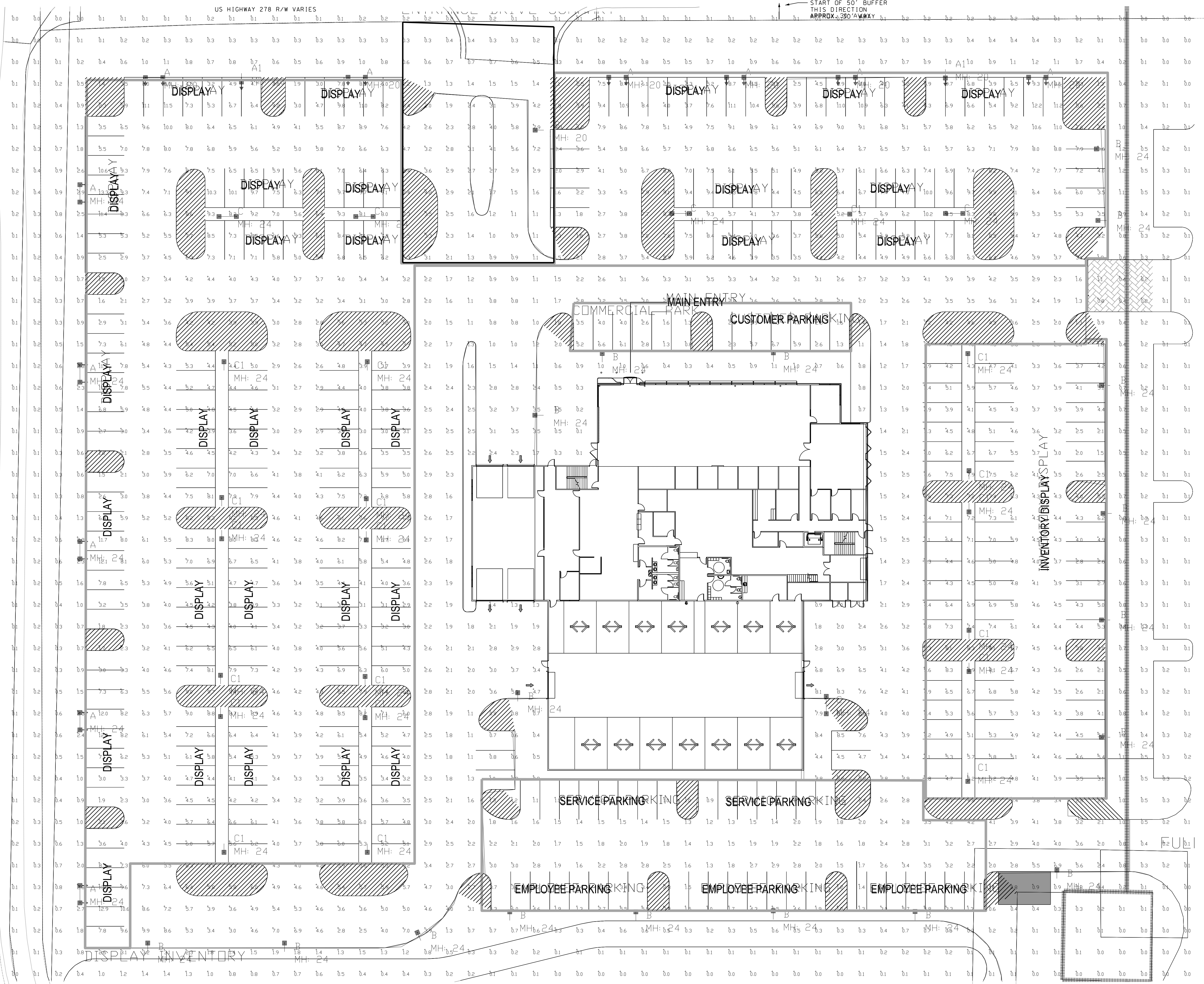
dwg. title
LIGHTING
SITE PLAN

dwg. no.

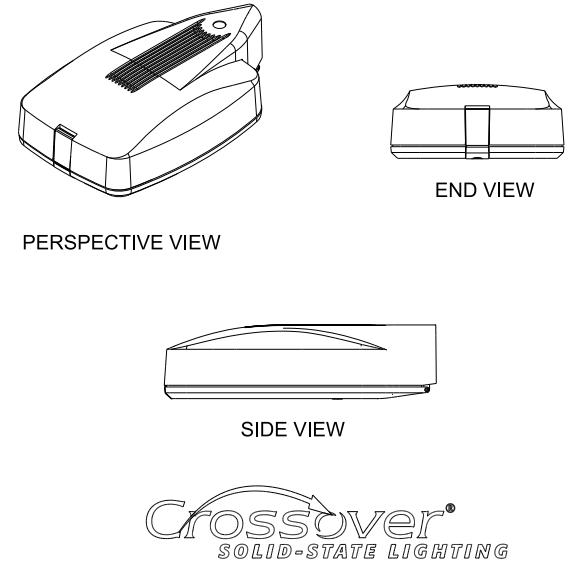


AREAS WITH
TREES. NO
LIGHTS. EVERY
8 PARKING
SPACES OR
LESS REQUIRE
TREES

AREA LIGHTING: LSI PATRIOT
LED, 4000*, TYPE III, OR FT.
MIN MTG AT 20' MAX MT
AT 30'. LIGHTING LEVELS
REQUIRED: ENTRANCES
FROM HWY 278: .2FC MIN.
AVE-1FC MAX-10FC. AREAS
FOR DISPLAY OF OUTDOOR
MERCHANDISE: 1FC MIN.
SFC AVE. 15FC MAX REFER
TO PARA. C OF CRITERIA FOR
ADDITIONAL REQUIREMENTS.
POINT BY POINTS BASED
ON A 10' GRID. HOUSE
SHIELDS/CUTOFFS AT
PERIMETER OF SITE.



XPT3
LED Crossover Area Light



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ 4' ABOVE GRADE	Illuminance	Fc	1.95	13.3	0.0	N.A.	N.A.
COMMERCIAL PARK	Illuminance	Fc	2.45	6.7	0.8	3.06	8.38
DISPLAY INVENTORY	Illuminance	Fc	5.43	13.3	1.1	4.94	12.09
ENTRANCE DRIVE SUMMARY	Illuminance	Fc	2.50	7.9	0.2	12.50	39.50
FULL SITE SUMMARY	Illuminance	Fc	4.58	13.3	0.6	7.63	22.17

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	11	A		D180° 2RTD	0.900	N.A.	19246	376
	2	A1	SINGLE	XPT3-FT-LED-128-450-CW-UE-HSS-SINGLE	0.900	N.A.	9623	188
	19	B	SINGLE	XPT3-FT-LED-128-450-CW-UE-HSS-SINGLE-24' MH	0.900	N.A.	9623	188
	5	C	D180°	XPT3-5-LED-128-450-CW-UE-D180-24' MH	0.900	N.A.	28756	374
	19	C1	SINGLE	XPT3-5-LED-128-450-CW-UE-SINGLE-24' MH	0.900	N.A.	14378	187

NEW CONSTRUCTION FOR:

VADEN
NISSAN

BLUFFTON
SOUTH CAROLINA

revisions		
scale:	date:	
SCHEMATIC	23-DEC-2015	
dwn:	chk:	comm. no.
SH	WP	3115

dwg. title

LIGHTING
SUMMARY AND
SCHEDULE

dwg. no.

E-2